



Planning Committee
Monday, 5th June, 2023 at 9.30 am
in the Assembly Room, Town Hall, Saturday Market
Place, King's Lynn PE30 5DQ

Reports marked to follow on the Agenda and/or Supplementary Documents

- a) Decisions on Applications (Pages 2 - 229)

To consider and determine the attached Schedule of Planning Applications submitted by the Executive Director.

Contact

Democratic Services
Borough Council of King's Lynn and West Norfolk
King's Court
Chapel Street
King's Lynn
Norfolk
PE30 1EX
Tel: 01553 616394
Email: democratic.services@west-norfolk.gov.uk

Planning Committee

5 June 2023

2

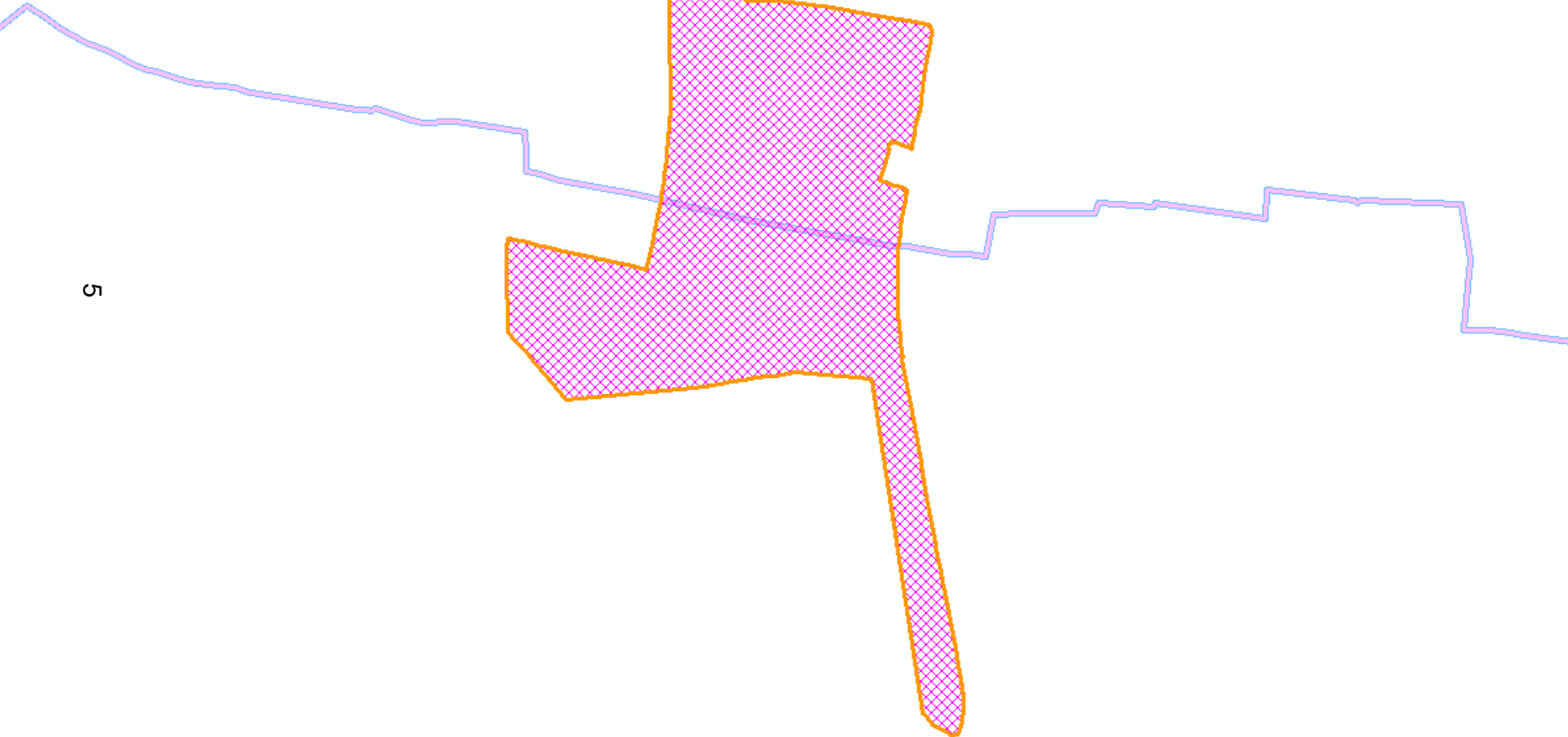


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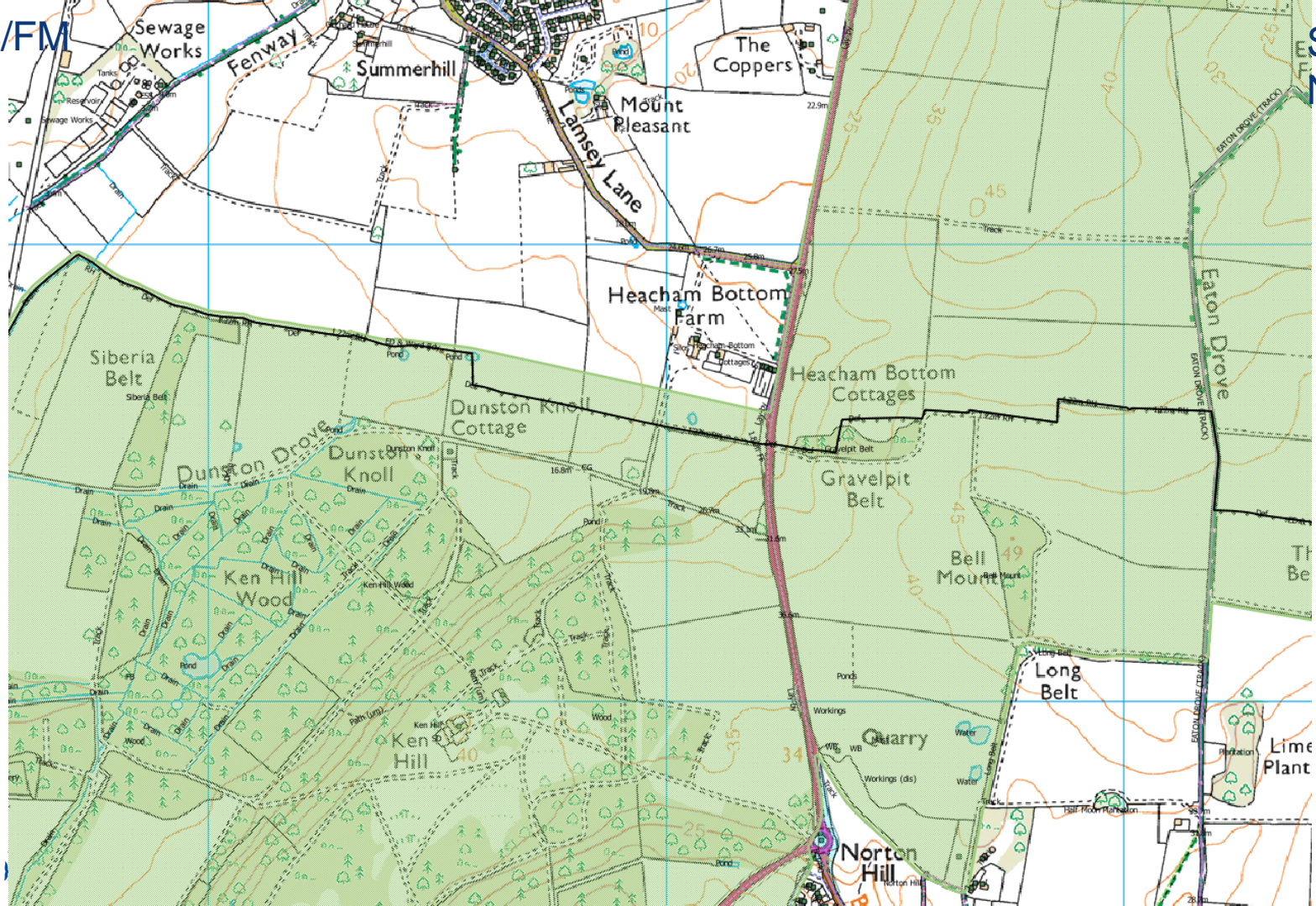
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5

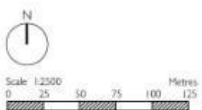


6



SITE MASTERPLAN 1 OF 2_AS PROPOSED 1:2500 @ A3

- Site Plan Key
- 1 Muster Point (For Nature Tours)
 - 2 Retail / W.Cs (New Build)
 - 3 Office / Retail
 - 4 Covered Bike Parking
 - 5 Main Visitor Building (New Build)
 - 6 Outdoor F&B Seating
 - 7 Pay Point
 - 8 Indoor Play
 - 9 Outdoor play
 - 10 Wild Garden
 - 11 Orchard Pasture
 - 12 Woven Willow Art
 - 13 Walking Trails
 - 14 Tumuli
 - 15 Dog Walking Area
 - 16 Pump Trail
 - 17 Woodland Pump Track
 - 18 Woodland Trail
 - 19 Glamping
 - 20 Parking
 - 21 Overspill Car Park



HEACHAM BOTTOM FARM
 DRAWING PACKAGE
 REVISION B
 WILD KEN HILL
 FEBRUARY 2021
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SITE MASTERPLAN 2 OF 2_AS PROPOSED 1:2500 @ A3

Site Plan Key

- 1 Woodland Pump Track
- 2 Woodland Trail
- 3 Glamping



GLAMPING SITE PLAN_AS PROPOSED 1:750 @ A3

- Site Plan Key
- 1 Service Track
 - 2 Yurt
 - 3 Private Shower
 - 4 Treehouse Yurt
 - 5 Private W.C
 - 6 Facilities Block
 - 7 Kitchen Facility



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DEMOLITION PLAN_AS PROPOSED 1:750 @ A3

Site Plan Key

Area to be demolished
1208 m²



Area to be demolished 222 m²



Area to be demolished 926 m²



Area to be demolished 60 m²



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SITE PLAN_AS PROPOSED 1:750 @ A3

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Site Plan Key

- 1 Muster Point (For Nature Tours)
- 2 Retail / W/Cs (New Build)
- 3 Offices / Events Space
- 4 Bike Shop & Rental
- 5 Retail Unit
- 6 Covered Bike Parking
- 7 Main Visitor Building (New Build)
- 8 Outdoor F&B Seating
- 9 Pay Point
- 10 Indoor Play
- 11 Outdoor play
- 12 Wild Garden
- 13 Orchard Pasture
- 14 Woven Willow Art
- 15 Walking Trails
- 16 Tumuli
- 17 Parking
- 18 Delivery Entrance
- 19 Refuse Storage



VISITOR BUILDING ELEVATIONS_AS PROPOSED 1:200 @ A3

Note: Air Source Heat Pump specific size
and location to be confirmed



Profiled metal
roof



Vertical standing
seam cladding



Vertical profile
cladding



South Elevation



East Elevation



North Elevation



West Elevation

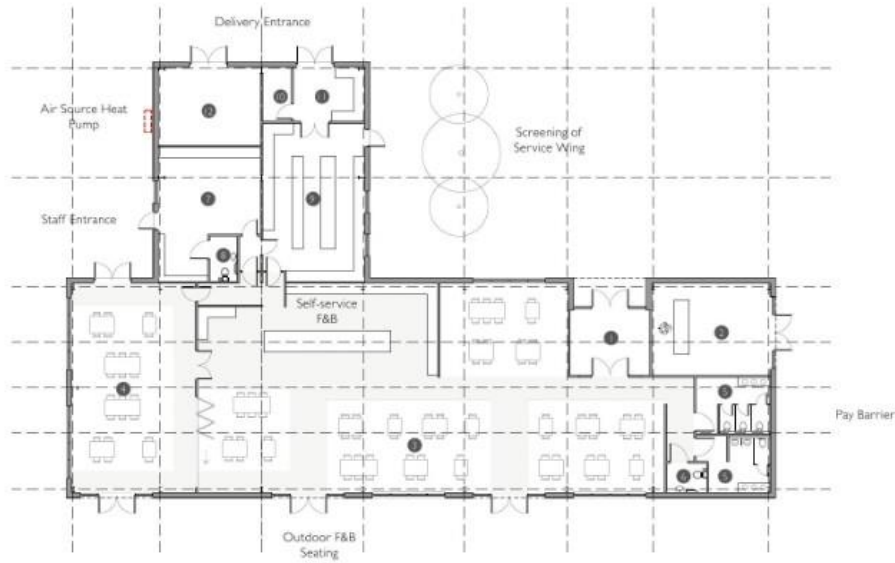


VISITOR BUILDING FLOOR PLAN_AS PROPOSED 1:200 @ A3

- Floor Plan Key
- 1 Main Entrance
 - 2 Reception
 - 3 F&B Seating
 - 4 Flexible Space
 - 5 WC
 - 6 Accessible WC
 - 7 Staff Room / Kitchen
 - 8 Staff WC
 - 9 Kitchen
 - 10 Cold Store
 - 11 Store Room
 - 12 Plant Room

Note: Air Source Heat Pump specific size and location to be confirmed

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Floor Plan



Proposed G.L.F.A 573 m²

14

Roof Plan Key

- 1 Profiled Metal Roof
- 2 Solar PV Panels

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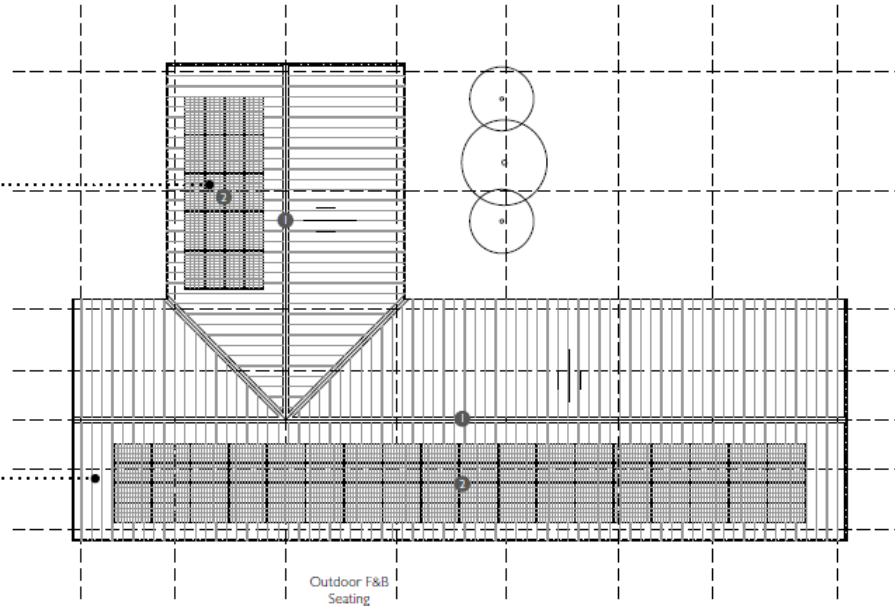
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Solar PV Panels



Profiled metal
roof

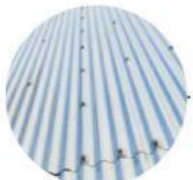


Roof Plan



Scale 1:200
0 2 4 6 8 10 Metres

Note: Air Source Heat Pump specific size and location to be confirmed



Profiled metal roof



Vertical standing seam cladding



Vertical profile cladding



South East Elevation



North West Elevation



South West Elevation



North East Elevation



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16

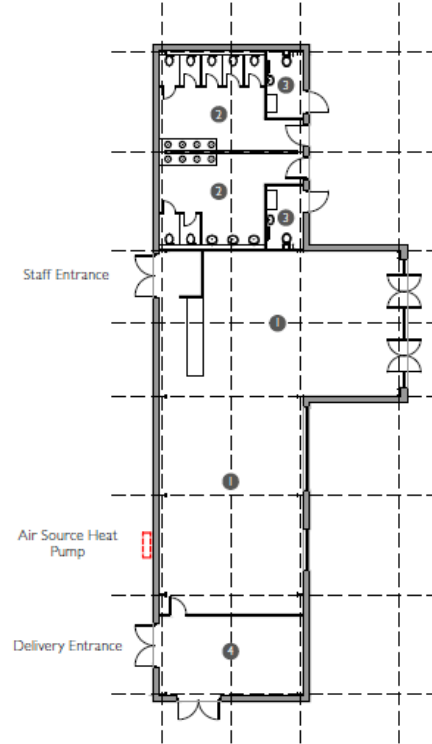
Floor Plan Key

- 1 Retail Space
- 2 W.C
- 3 Accessible WC / Baby Changing
- 4 Storage

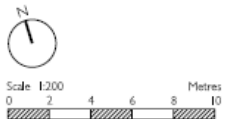
Note: Air Source Heat Pump specific size and location to be confirmed

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17



Floor Plan



Roof Plan Key

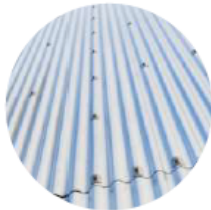
- 1 Profiled Metal Roof
- 2 Solar PV Panels

22/01648/FM

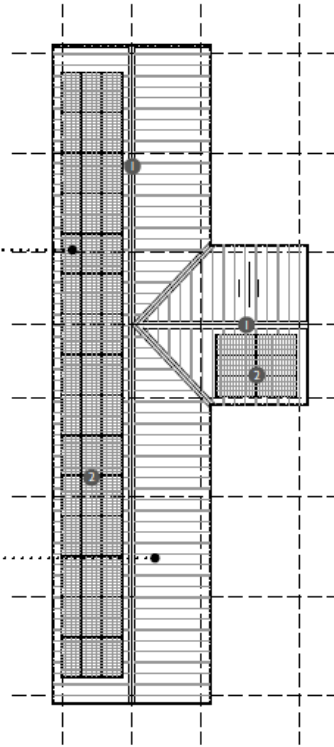
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Solar PV Panels



Profiled metal
roof



Floor Plan

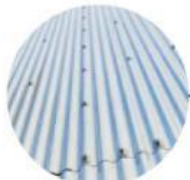


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Profiled metal roof



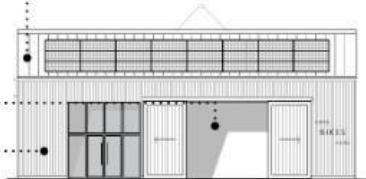
Sliding 'Barn' Doors



Vertical profile cladding



North Elevation



West Elevation



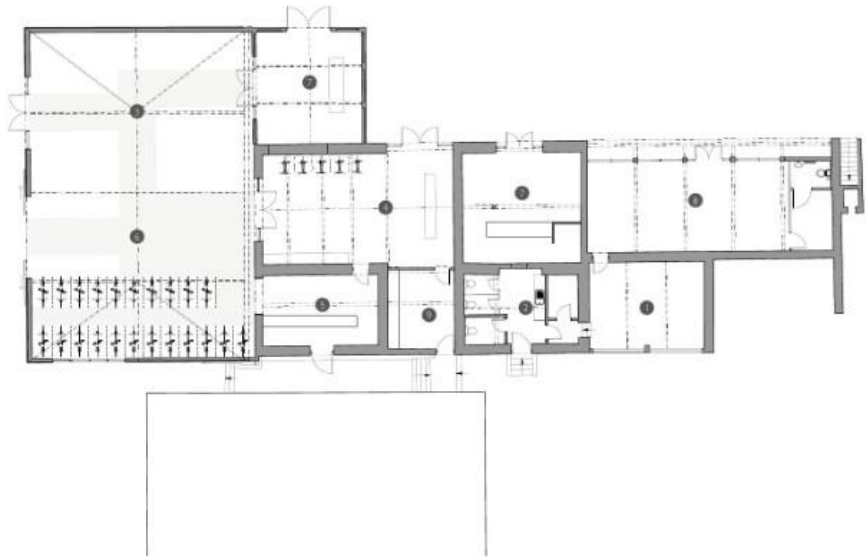
South Elevation



EXISTING FARM BUILDINGS FLOOR PLAN_AS PROPOSED 1:200 @ A3

Floor Plan Key

- 1 Office
- 2 Office Facilities
- 3 Covered Arrival Space
- 4 Bike Workshop / Retail
- 5 Bike Rental Office
- 6 Covered Bike Storage
- 7 Retail Unit
- 8 Corporate Event Space
- 9 Storage / Staff Room



Floor Plan



Scale 1:200
 0 2 4 6 8 10
 Metres

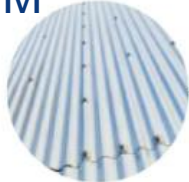
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20

INDOOR PLAY ELEVATIONS_AS PROPOSED 1:200 @ A3

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Note: Air Source Heat Pump specific size and location to be confirmed



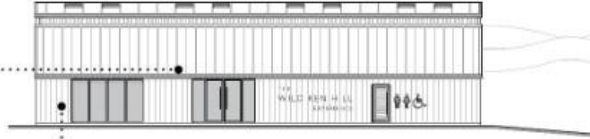
Profiled metal roof



Vertical standing seam cladding



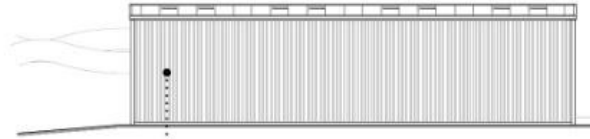
Vertical profile cladding



North West Elevation



North East Elevation



South East Elevation



South West Elevation



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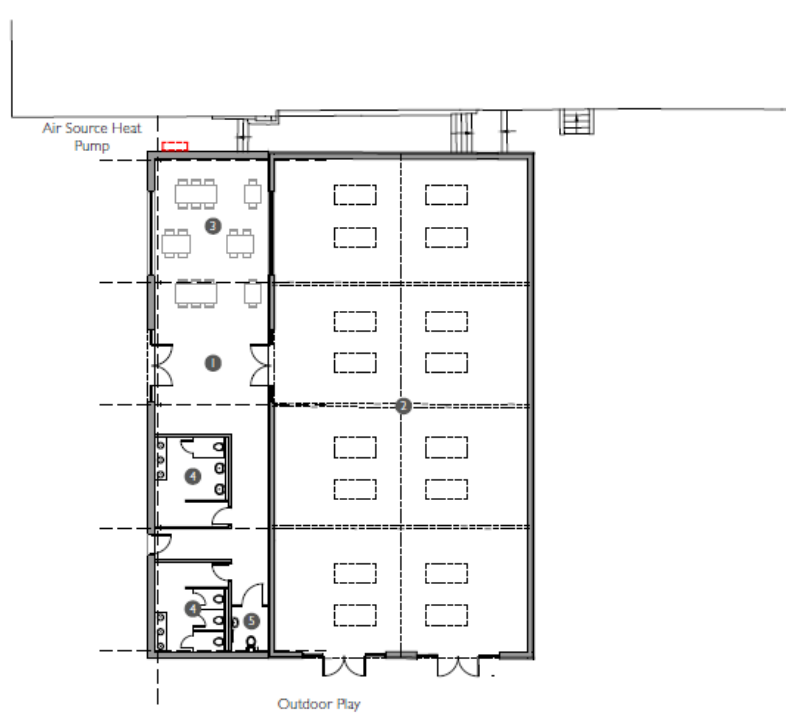
Floor Plan Key

- 1 Main Entrance
- 2 Indoor Play
- 3 Seating Area
- 4 W.C
- 5 Accessible W.C

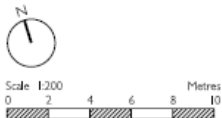
Note: Air Source Heat Pump specific size and location to be confirmed

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22



Floor Plan



MUSTER POINT ELEVATIONS_AS PROPOSED 1:100 @ A3

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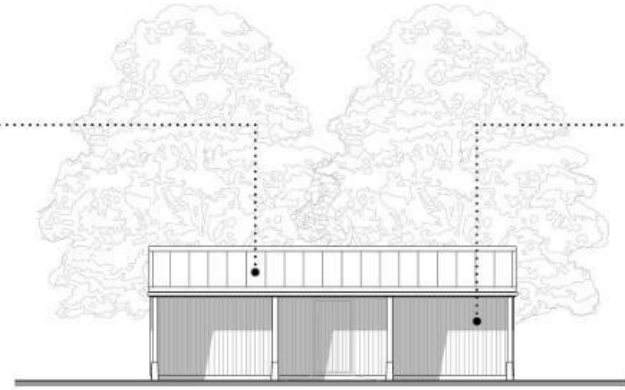
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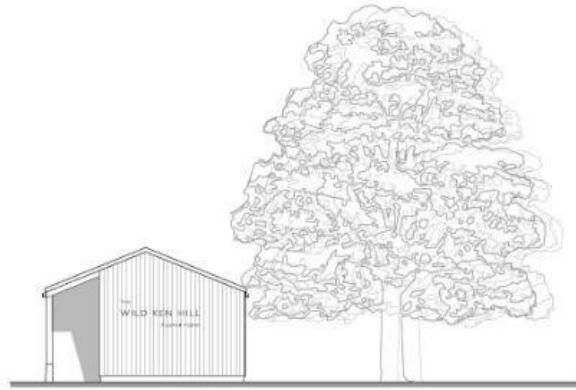
Profiled metal roof



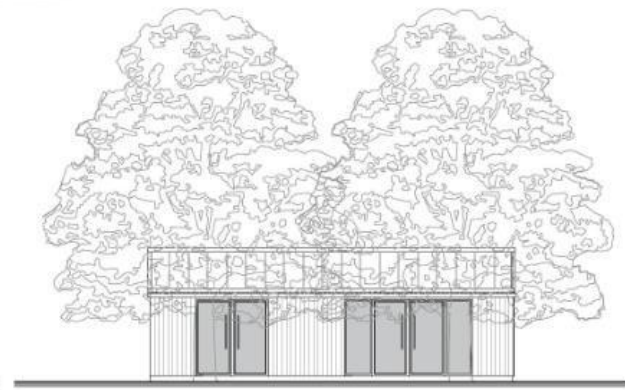
Vertical timber cladding



East Elevation



North / South Elevation



West Elevation

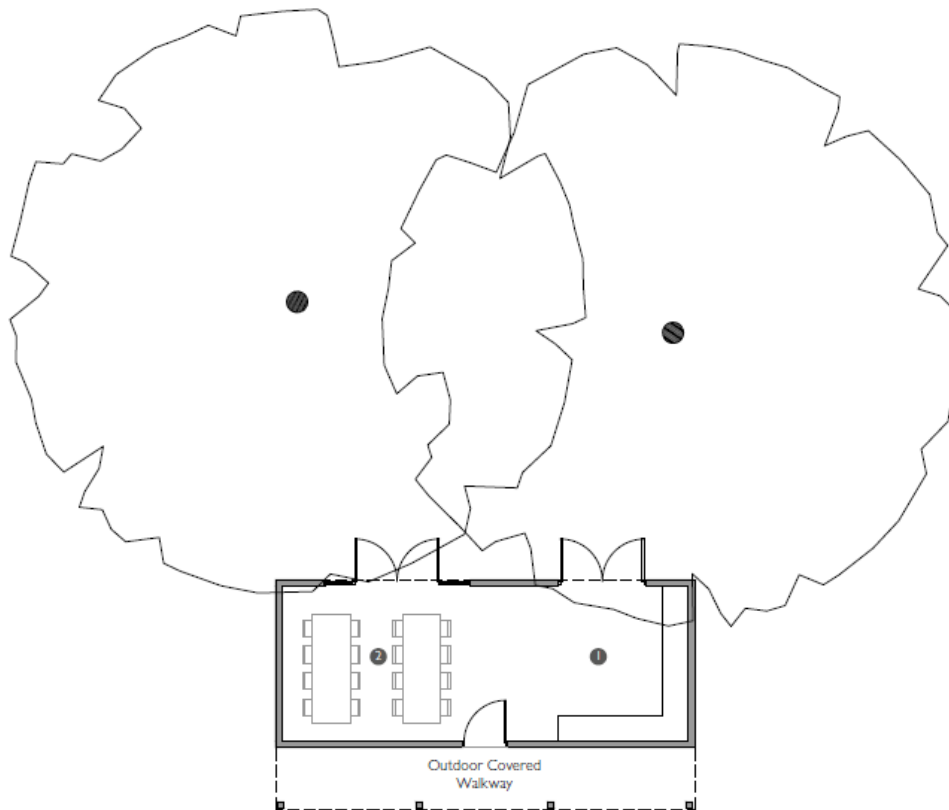


Floor Plan Key

- 1 Kitchen
- 2 Indoor Seating

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24

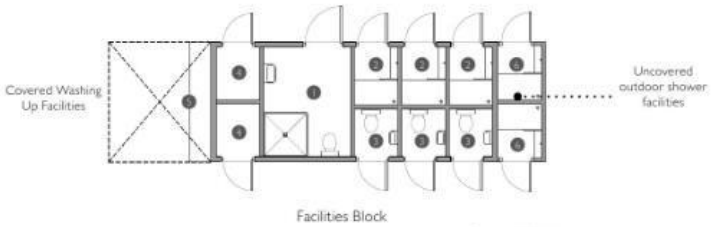


Floor Plan

GLAMPING FACILITIES PLANS & ELEVATIONS_AS PROPOSED 1:100 @ A3

Facilities Block Floor Plan Key

- 1 Family Shower
- 2 Shower
- 3 WC
- 4 Store
- 5 Washing Up Station
- 6 Outdoor Shower



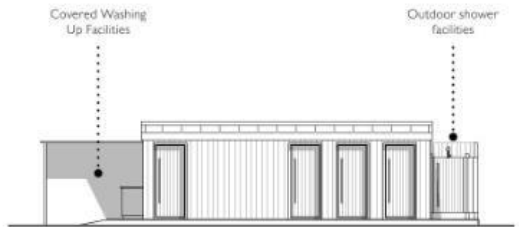
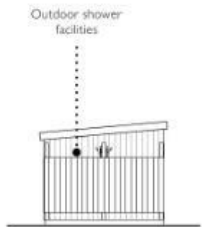
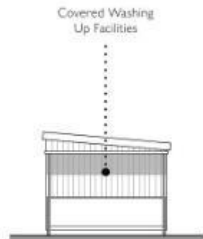
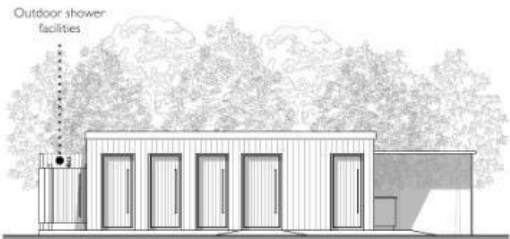
Profiled metal roof



Vertical timber cladding

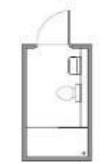


Vertical profile cladding

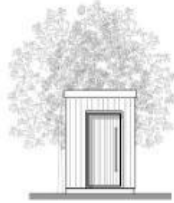


HEACHAM BOTTOM FARM
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Private Shower



Front Elevation



Rear Elevation



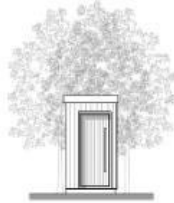
Side Elevation



Profiled metal
roof



Private W.C.



Front Elevation



Rear Elevation



Side Elevation



Vertical timber
cladding



Private Kitchen
Facility



Front Elevation



Rear Elevation



Side Elevation



Vertical profile
cladding



22/01648/FM

Slide No.
26

27



View looking back to A149 along existing farm access

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Slide No.
27

28



View of farm buildings at proposed main complex



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Slide No.
28

29



View over proposed car park and up to the new access point



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Slide No.
29

30



View north/north-east, including part of the proposed car park

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Slide No.
30

31



Farm buildings and existing mast



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Slide No.
32

33



View of the farm buildings to be removed



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Slide No.
33

34



View south from the main complex with proposed play barn to the right



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35

Vista of field where glamping pods will go. Located adjacent the woodland



22/01648/FM

Slide No.
35

36



Existing farm cottage. Glamping site off the slide to the left.

22/01648/FM

37



View of where a couple of the glamping pods will be located to the left of the existing temporary structure



22/01648/FM

Slide No.
37

38



Looking back to the main complex from the glamping pods



22/01648/FM

Slide No.
38

39



Private farm track leading to the A149 – to be closed where it meets the A149



22/01648/FM

Slide No.
39

40



Photo showing part of new off-road path running along the hedgerow



Speakers Slide

James Ellis

41



Wild Ken Hill, founded in 2019, is... a nature, climate, and community project which employs **rewilding and regenerative farming** side by side. We work on “developing a strong connection between people and nature, **providing visitors with a unique experience while protecting the environment**”

(NCC Experience Project comment on our proposals)

Since its inception, **Wild Ken Hill** has:

- Reached **millions of viewers** via the BBC’s Springwatch and Autumnwatch programmes
- Turned ‘**net zero**’ in 2022 and doubled average plant diversity in 3 years
- Welcomed children on **200 access days per year**, created **3** new jobs, **15** volunteering opportunities, **5** student placements, worked with mental health charities and hosted open days for local residents

Wild Ken Hill would like to...

- Host, engage, and educate a wider range of visitors and residents about our exciting **nature restoration work** with our new facilities
- Secure our long-term future with **sustainable new facilities** helping to fund our ongoing work
- Deliver an exemplar in high quality design that respects the local landscape:
 - **Norfolk County Council Protected Landscapes Team**: “We believe that the proposals submitted by Wild Ken Hill not only are compatible with the LAC (Limits of Acceptable Change) framework, but could be used as a case study for how the LAC should be applied, and even **an exemplar project to showcase externally**, including to other developers.”
 - **Norfolk Coast Partnership (AONB Team)**: “The NCP is supportive of development that serves to help **boost the local economy** and improve access to and understanding of the AONB whilst **protecting and enhancing the special qualities**”
- Create an additional **24 new jobs across two sites**
- Help to “Support delivery towards the **strategic tourism and economic objectives of the Borough Council**” (Borough Council Economic Team comments)
- Work with new and existing local supply chain businesses to create **economic benefits for the area**
- Deliver a new **2km+ off-road sustainable transport link** between Heacham and Snettisham for all to use
- Continue to lead the local and national response to **climate change and biodiversity loss**, whilst working with communities, schools and others to **leave a lasting environmental legacy whilst maximising community benefits**



Dominic Buscall
Wild Ken Hill Founder

Speakers Slide

Dominic Buscall



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Dominic Buscall
Wild Ken Hill Founder

22/01650/FM



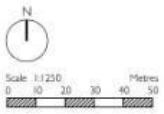
47



WIDER SITE PLAN_AS PROPOSED 1:1250 @ A3

- Site Plan Key
- 1 Reception / Retail
 - 2 Storage
 - 3 Proposed Utility Building
 - 4 Courtyard
 - 5 Staff Accommodation
 - 6 Gardens
 - 7 Refuse Storage
 - 8 Black Waste Disposal
 - 9 Temporary Parking / Drop-Off
 - 10 Zone 3 - Serviced Handstanding Pitches
 - 11 Zone 4 - Bell Tent Pitches
 - 12 Zone 4 - Mixed Grass Pitches
 - 13 Recreation & Play Area

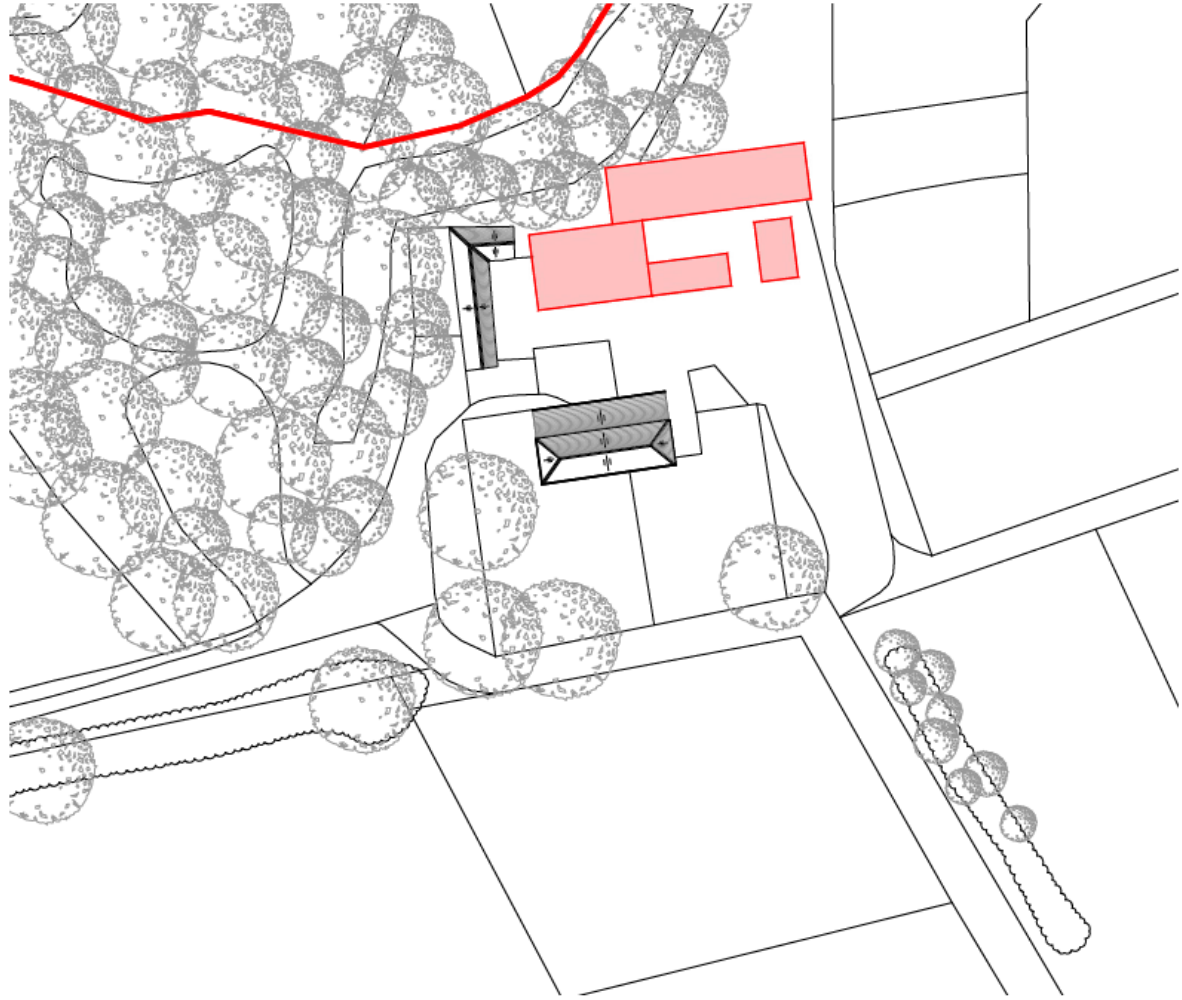
-  Zone 3 - Serviced Handstanding Pitches - 20 Pitches
-  Zone 4 - Bell Tents - 7 Pitches
-  Zone 4 - Mixed Grass Pitches - 40 Pitches



MOUNT PLEASANT
DRAWING PACKAGE REVISION B
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Site Plan Key

Area to be demolished
357 m²



49



HOULT PLEASANT

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REVISION B

W.D. KEN HILL

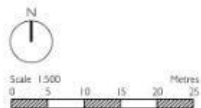
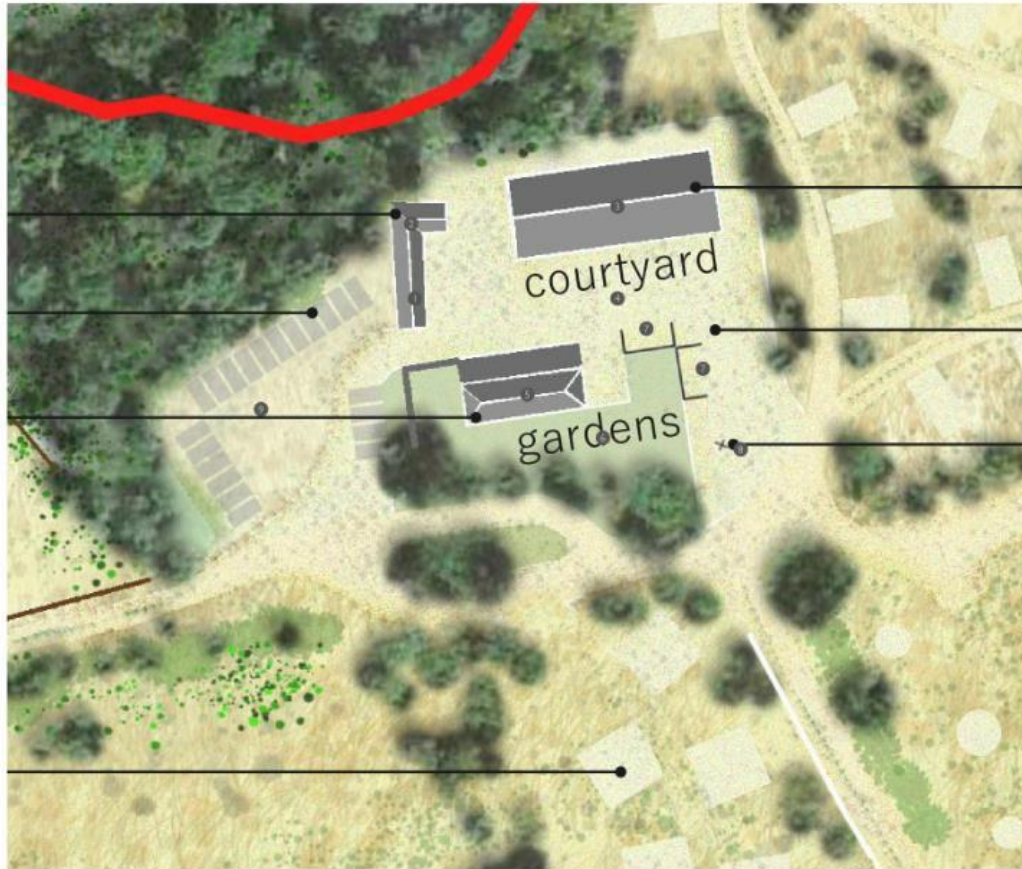
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SITE PLAN_AS PROPOSED 1:500 @ A3

Site Plan Key

- 1 Reception / Retail
- 2 Storage
- 3 Proposed Utility Building
- 4 Courtyard
- 5 Staff Accommodation
- 6 Gardens
- 7 Refuse Storage
- 8 Black Waste Disposal
- 9 Temporary Parking / Drop-Off



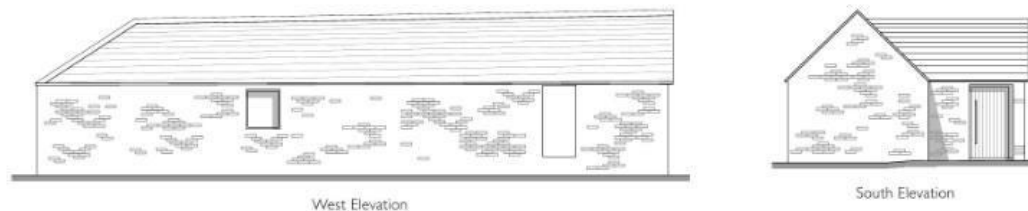
RECEPTION BUILDING ELEVATIONS_AS PROPOSED 1:100 @ A3

Material Palette

- Walls - Local red brick
- Doors & Windows - Painted timber
- Roof - Red pantile
- Rainwater goods - Black metal

MOUNT PLEASANT
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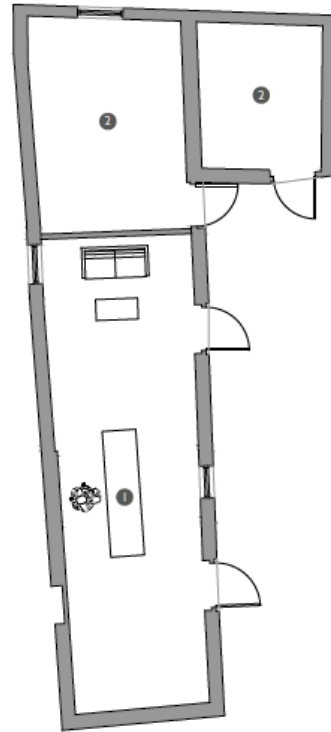
51



Floor Plan Key

- 1 Reception / Retail
- 2 Storage

22/01650/FM



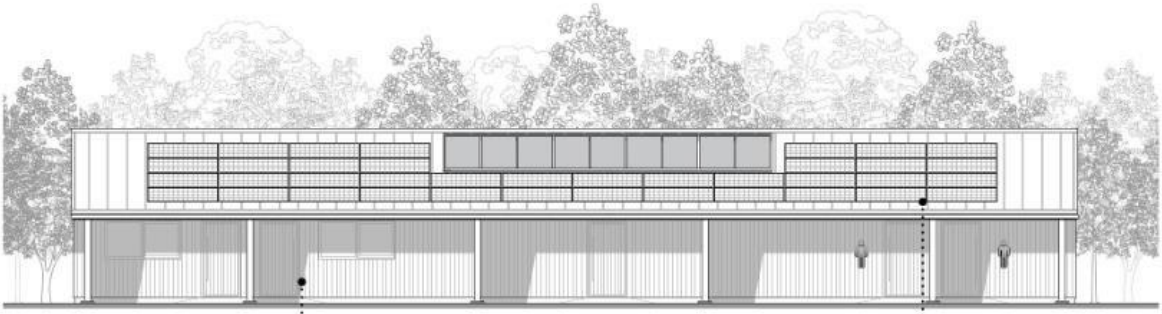
Floor Plan

52

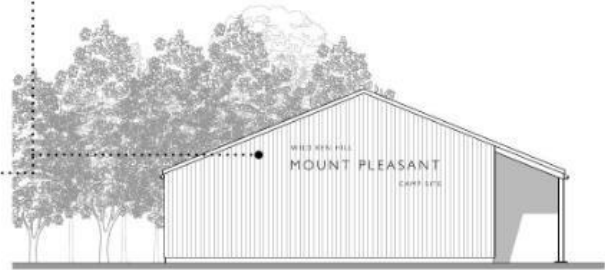


UTILITY BUILDING ELEVATIONS_AS PROPOSED 1:100 @ A3

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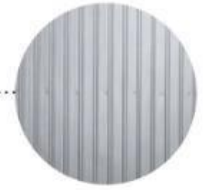
South Elevation



West Elevation



Vertical profile cladding



Profiled metal roof



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MDUNT PLEASANT

DRAWING PACKAGE
REVISION 3

W.D. KEN HILL

FEBRUARY 2023

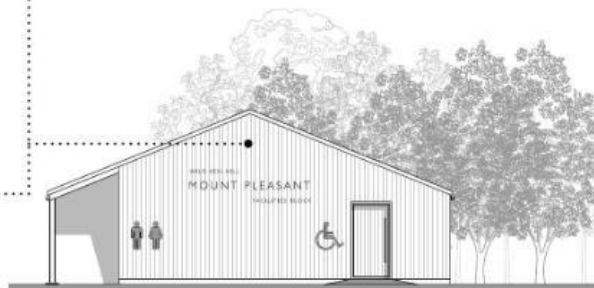
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UTILITY BUILDING ELEVATIONS_AS PROPOSED 1:100 @ A3

Note: Air Source Heat Pump specific size
and location to be confirmed



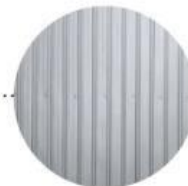
North Elevation



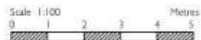
East Elevation



Vertical profile
cladding



Profiled metal
roof



WOUNT PLEASANT

DRAWING PACKAGE
REVISION 3

W.G.D. KEN HILL

FEBRUARY 2023

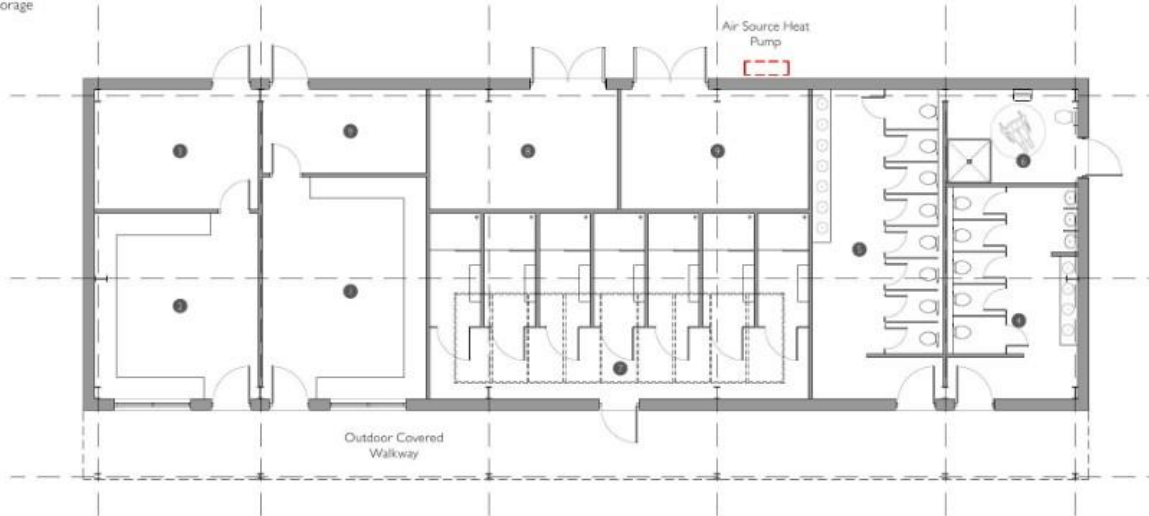
PREPARED BY
RURAL SOLUTIONS LTD

UTILITY BUILDING FLOOR PLAN_AS PROPOSED 1:100 @ A3

Floor Plan Key

- 1 Kitchen / Wash-up
- 2 Utility
- 3 Drying Room
- 4 Male W.C
- 5 Female W.C
- 6 Accessible W.C / Shower
- 7 Showers
- 8 Plant Room
- 9 Storage

Note: Air Source Heat Pump specific size and location to be confirmed



Floor Plan



Proposed G.I.F.A 230 m²

22/01650/FM

Slide No.
55

56



View down towards the access



22/01650/FM

Slide No.
56

57



View from the top of the access across to proposed reception building



22/01650/FM



58



View of site of bell tents

59



View west down to Lamsey Lane



22/01650/FM

Slide No.
59

69



22/01650/FM

Slide No.
60

61



Existing equestrian buildings to be removed

22/01650/FM

62



Farmhouse to be used as staff accommodation

22/01650/FM

Slide No.
62

63



22/01650/FM

Slide No.
63

64



Grass pitches to the right of the photo

22/01650/FM

Slide No.
64

65



22/01650/FM

Slide No.
65

65



View towards the farm/equestrian complex from the touring caravan site



22/01650/FM

Slide No.
66

67



View of extended caravan site to the north



Speakers Slide

James Ellis

68



Wild Ken Hill, founded in 2019, is... a nature, climate, and community project which employs **rewilding and regenerative farming** side by side. We work on “developing a strong connection between people and nature, **providing visitors with a unique experience while protecting the environment**”

(NCC Experience Project comment on our proposals)

Since its inception, **Wild Ken Hill** has:

- Reached **millions of viewers** via the BBC’s Springwatch and Autumnwatch programmes
- Turned ‘**net zero**’ in 2022 and doubled average plant diversity in 3 years
- Welcomed children on **200 access days per year**, created **3** new jobs, **15** volunteering opportunities, **5** student placements, worked with mental health charities and hosted open days for local residents

Wild Ken Hill would like to...

- Host, engage, and educate a wider range of visitors and residents about our exciting **nature restoration work** with our new facilities
- Secure our long-term future with **sustainable new facilities** helping to fund our ongoing work
- Deliver an exemplar in high quality design that respects the local landscape:
 - **Norfolk County Council Protected Landscapes Team**: “We believe that the proposals submitted by Wild Ken Hill not only are compatible with the LAC (Limits of Acceptable Change) framework, but could be used as a case study for how the LAC should be applied, and even **an exemplar project to showcase externally**, including to other developers.”
 - **Norfolk Coast Partnership (AONB Team)**: “The NCP is supportive of development that serves to help **boost the local economy** and improve access to and understanding of the AONB whilst **protecting and enhancing the special qualities**”
- Create an additional **24 new jobs across two sites**
- Help to “Support delivery towards the **strategic tourism and economic objectives of the Borough Council**” (Borough Council Economic Team comments)
- Work with new and existing local supply chain businesses to create **economic benefits for the area**
- Deliver a new **2km+ off-road sustainable transport link** between Heacham and Snettisham for all to use
- Continue to lead the local and national response to **climate change and biodiversity loss**, whilst working with communities, schools and others to **leave a lasting environmental legacy whilst maximising community benefits**



Dominic Buscall
Wild Ken Hill Founder

Speakers Slide

Dominic Buscall



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Dominic Buscall
Wild Ken Hill Founder

22/02113/F



| Rev | Date | Description | Drawn |
|-----|------|-------------|-------|
| | | | |



73

Existing Site Plan
Scale: 1:200



3 Ermine Court, Burnham Market, Norfolk, PC31 8FD
 Tel: 01263 738239
 Web: www.strataarchitecture.com

Project:
 Terms
 49 Peddars Way
 Holme next the Sea
 PE36 6LD
 Title:
 Extension and Alterations to Dwelling
 Existing Site Plan

Scale(s): As shown @ A2 Date: 28.07.2021

Drawn: EA Checked: JL

Drawing issued for: Planning

Dwg No: 571-100 Rev: -

Copyright of this drawing is retained by Strata Architecture.
 All dimensions must be checked on site by the Contractor.





Proposed West Elevation
Scale 1:100



Proposed North Elevation
Scale 1:100



Proposed East Elevation
Scale 1:100



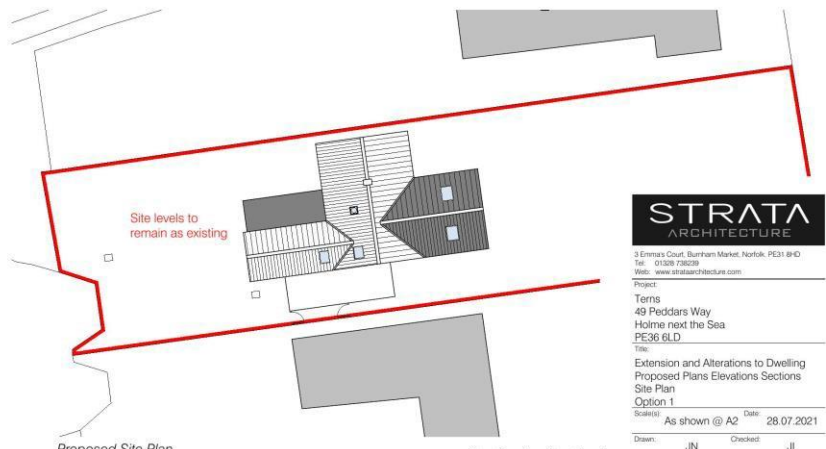
Proposed South Elevation
Scale 1:100

Materials

- Roof - Red clay panles
- Facade - Grey to proposed and replace existing
- Walls - Grey Marley Cedral Boarding
- Walk - Off white render to existing walls
- Timber - Post to support first floor
- Roof Windows - Anthracite Grey to proposed
- Windows & Doors - Anthracite Grey to proposed and replacing existing



Proposed Ground Floor Plan
Scale 1:100



Proposed Site Plan
Scale 1:250



| Rev. | Date | Description | Drawn |
|------|------------|-----------------------------------|-------|
| A | 07.07.21 | Site levels to remain as existing | JN |
| B | 28.07.21 | Roof windows and dimensions | JN |
| C | 28.09.2021 | Drawing updated to suit Comments | EA |
| D | 01.01.2022 | Drawings updated | EA |



3 Ermoor Court, Burnham Market, Norfolk, PE33 8HD
Tel: 01263 736239
Web: www.strataarchitecture.com

Project:
49 Peddars Way
Holme next the Sea
PE36 6LD
Title:
Extension and Alterations to Dwelling
Proposed Plans Elevations Sections
Site Plan
Option 1
Scale(s): As shown @ A2 Date: 28.07.2021

| | | | |
|--------|----|----------|----|
| Drawn: | JN | Checked: | JL |
|--------|----|----------|----|

Drawing issued for: Building Regulation

Draw No: 571-02 Rev: -

Copyright of this drawing is retained by Strata Architecture. All dimensions must be checked on site by the Contractor.

74

75



Front of Terns showing extension behind garage

22/02113/F

Slide No.
75

76



Northern front boundary of the site

22/02113/F

Slide
No. 76

77



View from neighbouring site No.51 to the south



22/02113/F

Slide
No. 77

78



View of dwelling in the street scene



Wider context view of application site





View of extension from the rear of the dwelling



View of extension from the rear towards the southern boundary





Separation between extension and No.51 from the rear side



84

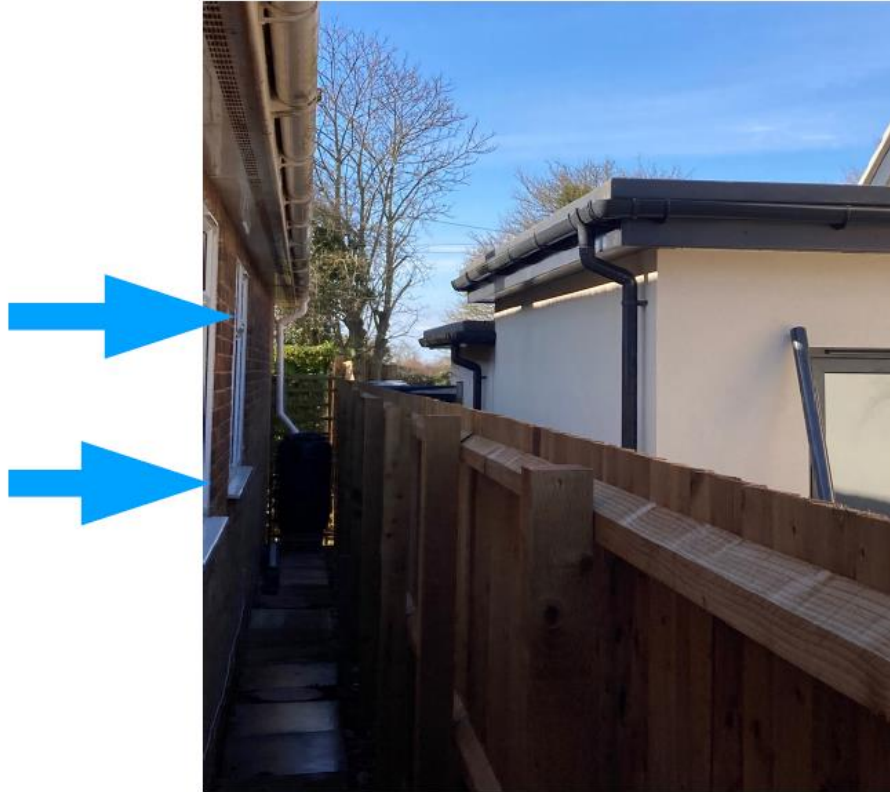


Separation between extension and No.51 from the front side

Speaker Sandra Betterton



Our two windows are clearly seen on left hand side
The gap between the two properties: 0.85m on my side
and one metre on No 49



86

The overbearing and dominant impact of the new extension one of my rooms

87



**Difference of height
between the newly
built garage and the
new extension
demonstrates how
much higher the
extension is now**



**Depth of the eaves
and guttering not only
impacts visually but
directly effects the
amount of light into
our rooms**

88



In Summary

- **Very close proximity between our home and the extension**
- **Dominating and overbearing impact on our neighbour amenity**
- **Demonstrable reduction in daylight and sunlight**
- **Effect the whole process has had on our health and wellbeing**

68

Speakers Slide Wendy Norman Parish Council



91



A technical test isn't needed to show the extension causes significant harm to the outlook, light and amenity from the neighbours living rooms .

There is not even space to mitigate the visual impact by reinstating a green boundary.



22/02214/F

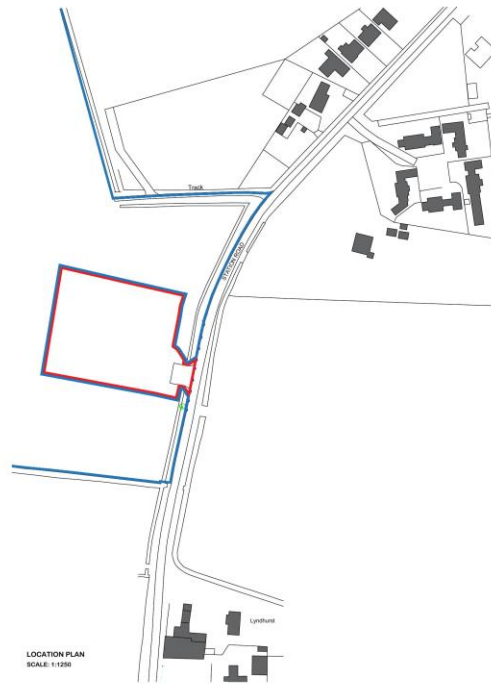


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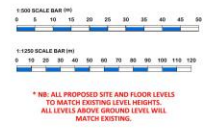


EXISTING SITE PLAN
SCALE: 1:500

Borough Council of
King's Lynn &
West Norfolk



LOCATION PLAN
SCALE: 1:1250



* NB: ALL PROPOSED SITE AND FLOOR LEVELS
TO MATCH EXISTING LEVEL HEIGHTS.
ALL LEVELS ABOVE GROUND LEVEL WILL
MATCH EXISTING.

Notes:
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All dimensions to be checked on site prior to commencing work and any discrepancies to be advised immediately.
CONSTRUCTION design & Management REGULATION 2015 David Trundley Design Services Ltd are employed as 'Designer' and will provide information to those responsible for the 'Principal Designer' and to the client.
David Trundley Design Services Ltd are responsible for the 'Architectural design' of the elements included on this drawing only.
Architectural design has been carried out with due consideration for the safety during construction, occupation and maintenance of the finished structure.
The works contain no extraordinary hazards or risks that are not present during routine construction operations that would not readily be apparent to a competent contractor.
This information should be included in part or commencement of the health and safety file for the project.

| | | |
|--|----------------------|-------------------------|
| NO | 15-10-2022 | ISSUED LEVEL 4 APPROVED |
| NO | | APPROVED MODIFICATION |
| <p>Planning</p> <p>trundley DESIGN SERVICES</p> <p>www.trundley.com</p> <p>David Trundley Manager King's Lynn West Norfolk PE34 4DH Tel: 01553 647700 Fax: 01553 647701 Email: david@trundley.com</p> | | |
| <p>Project Name:</p> <p>MR M. MEANS LAND WEST OF STATION ROAD CLEWCHWARTON SINCE LYNN PE34 4DH</p> | | |
| <p>PROPOSED AGRICULTURAL BUILDING</p> <p>EXISTING SITE PLAN & LOCATION PLAN</p> | | |
| Date: | AS STATED @ A1 | DECEMBER 2022 TN |
| Reference: | 22-P19-PL100A | |
| Drawn by: | Date: | |
| <p>If this drawing is originated in the check box then the drawing is an unauthorised issue and should not be used for any purpose.</p> | | |

22/02214/F

Slide
No. 94



96

Street scene of Station Road looking south

96



Street scene of Station Road looking north

97



Looking over the site from the access point



View of site from Station Road. Buried foundations on right half of site

66

View of hardcore on south half of site





100

Standing at the south boundary of the site looking north

101

Standing in the site looking back towards the point of access



22/02214/F

Slide
No. 101

102

Earth bund on south boundary with vegetation



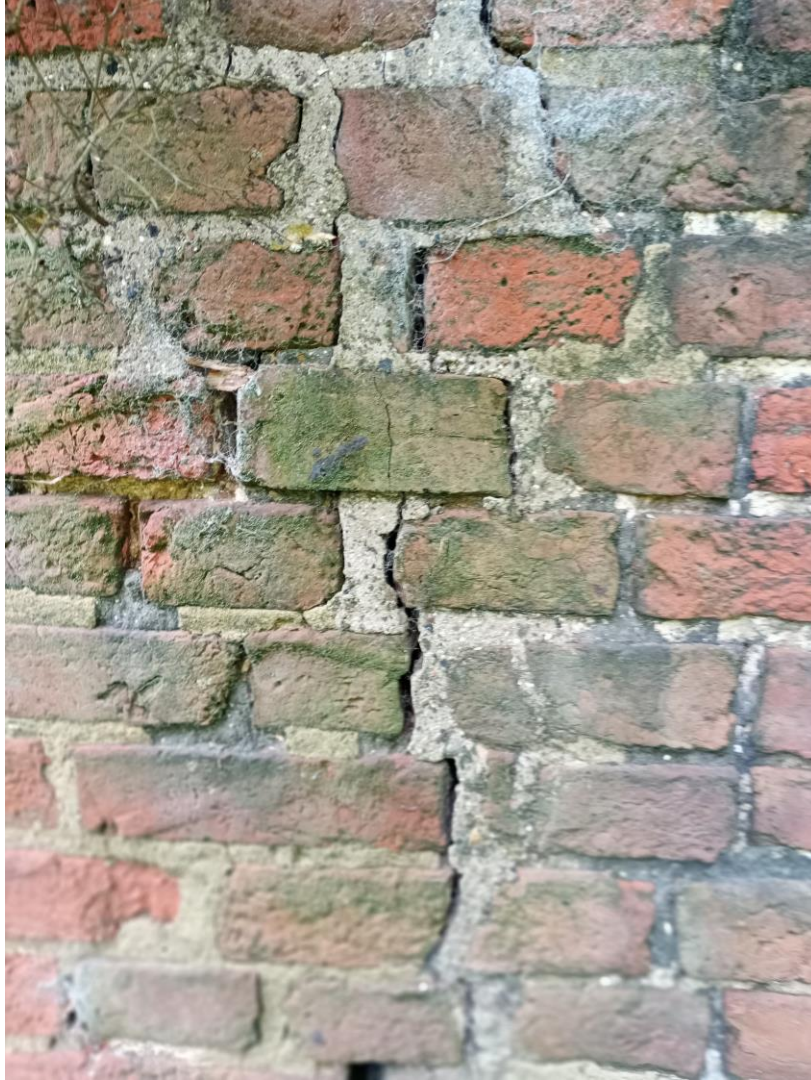
Speakers Slide

Mr Wilkie



104





106

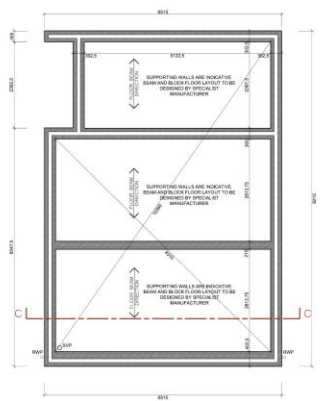


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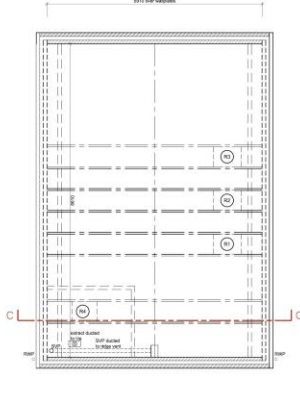


23/00271/F

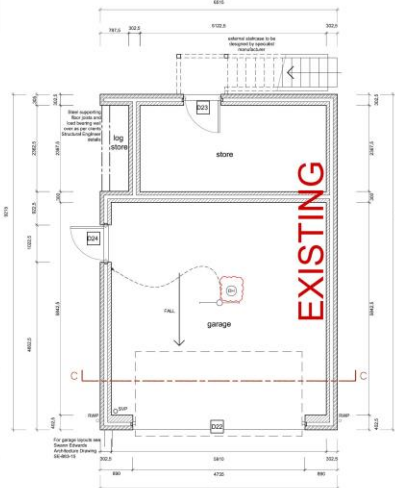




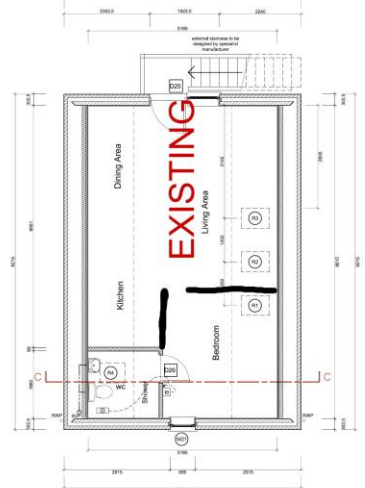
Sub-Structure Layout
Garage - Scale: 1:50



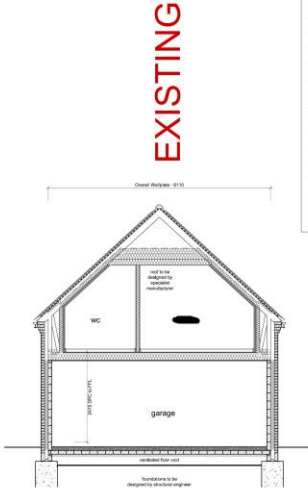
Roof Layout
Garage - Scale: 1:50



Ground Floor Plan
Garage - Scale: 1:50



First Floor Plan
Garage - Scale: 1:50



Section C-C
Garage - Scale: 1:50

PLAN KEY

| | |
|---|-----------------------------------|
| ○ | SOIL AND VENT PIPE |
| ○ | STUB STACK |
| ■ | FLOOR MANHOLE (DIRECT CONNECTION) |
| ○ | RAINWATER PIPE |
| □ | BACK INLET GULLY |
| X | WATER STOP VALVE |
| ○ | DOOR REFERENCE NUMBER |
| ○ | WINDOW REFERENCE NUMBER |
| ○ | OPENING REFERENCE NUMBER |

SERVICES KEY

| | |
|---|---|
| ○ | CARBON MONOXIDE DETECTOR |
| ○ | SMOKE DETECTOR |
| ○ | HEAT DETECTOR |
| ○ | DISTRIBUTION BOARD |
| ○ | EXTRACT FAN - CEILING MOUNTED |
| ○ | EXTRACT FAN - WALL MOUNTED |
| ○ | EXTRACT FAN - ISOLATION SWITCH |
| ○ | LOW ENERGY PENDANT LUMINAIRE |
| ○ | LOW ENERGY SURFACE OR RECESSED LUMINAIRE |
| ○ | LOW ENERGY RECESSED SPOT LIGHTS |
| ○ | 150mm SINGLE LAMP SURFACE MOUNTED LUMINAIRE |
| ○ | EXTERNAL LUMINAIRE |
| ○ | SWITCHED SOCKET OUTLET |
| ○ | TWO SW TOWCHED SOCKET OUTLET |
| ○ | TWO SW TOWCHED SOCKET OUTLET OVER WORKTOP |
| ○ | SWITCHED FUSED CONNECTION |
| ○ | NON SW TOWCHED FUSED CONNECTION |
| ○ | SWITCH ROOFER |
| ○ | COOKER SWITCH |
| ○ | WALL MOUNTED SHOWER LAMP |
| ○ | DOOR BELL PUSH |
| ○ | DOOR BELL SOUNDER |
| ○ | TELEPHONE OUTLET |
| ○ | THERMAL OUTLET |
| ○ | ONE WAY SWITCH |
| ○ | TWO WAY SWITCH |
| ○ | INTERMEDIATE SWITCH |
| ○ | ONE WAY CEILING SWITCH |
| ○ | RADIATOR |
| ○ | HEATED TOWEL RAIL |

- General Notes
- The drawings shall not be scaled, figured dimensions only to be used.
 - The contractor shall provide a copy of the drawings to the contractor at any work.
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 - Electrical positions and sizes are indicative only and are to be designed by clients Mechanical & Electrical contractor ensuring furniture layouts can be achieved.
 - The new Finished Floor Level of the dwelling is to be set at minimum of 150mm above existing ground levels.
 - Project to be in full accordance with approved archnology report.

WALL KEY

| | |
|-----|---|
| --- | SUB-STRUCTURE BLOCKWORK EXTERNAL WALL |
| --- | SUB-STRUCTURE BLOCKWORK EXTERNAL FRONT WALL |
| --- | SUB-STRUCTURE BLOCKWORK SLEEPER WALL |
| --- | EXTERNAL WALL |
| --- | INTERNAL WALL - BLOCKWORK |
| --- | INTERNAL WALL - STUCCO |

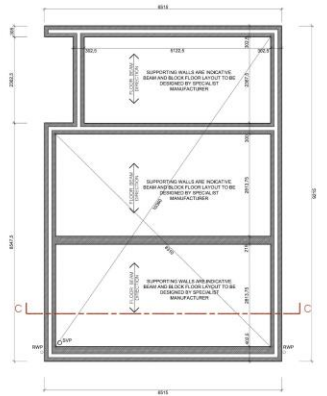
Revisions

| | | |
|---|----------|--------------------------------|
| A | May 2018 | Fire detection added to garage |
|---|----------|--------------------------------|

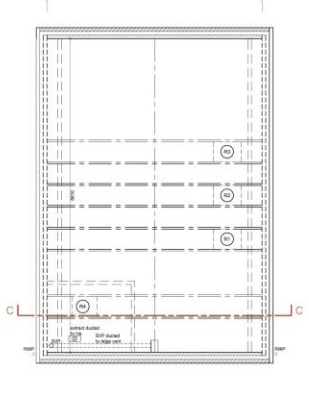
FOR APPROVAL

SWANN EDWARDS ARCHITECTURE
 Swanwick House, 110 Westwood Road, Gifford, Berwick, East Lothian, Midlothian, Scotland, EH20 9JG.
 01350 820000 & 01350 820001

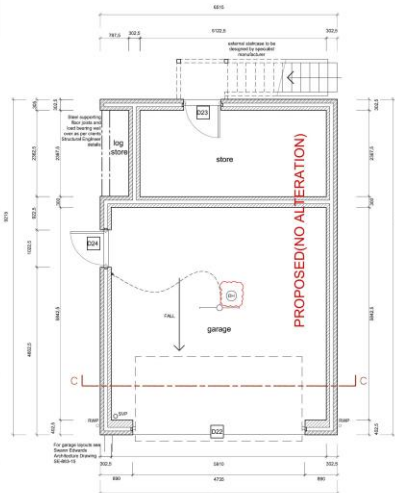
| | | | |
|----------|------------|-------------|------------|
| Prepared | 11/01/2018 | Drawn | 11/01/2018 |
| Checked | 11/01/2018 | Reviewed | 11/01/2018 |
| Approved | 11/01/2018 | Project No. | 21 |



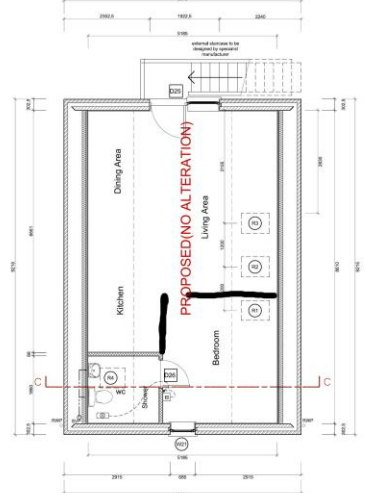
Sub-Structure Layout
Garage - Scale: 1:50



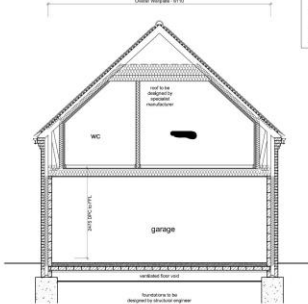
Roof Layout
Garage - Scale: 1:50



Ground Floor Plan
Garage - Scale: 1:50



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Garage - Scale: 1:50



Section C-C
Garage - Scale: 1:50

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| ■ | EXTERNAL WALL |
| ■ | EXTERNAL WALL |
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| ■ | INTERNAL WALL - STUCCO |

Revisions

| | | |
|---|----------|--------------------------------|
| A | May 2018 | Fire detection added to garage |
|---|----------|--------------------------------|

FOR APPROVAL

SWANN EDWARDS ARCHITECTURE

SWANN EDWARDS ARCHITECTURE
15-15/16 THE GARDENS, GUILDFORD, SURREY GU1 2JG
01483 81000 & 01483 81001 & 01483 81002

| | | | |
|----------|------------|-------------|------------|
| Prepared | 15/01/2018 | Drawn | 15/01/2018 |
| Checked | 15/01/2018 | Reviewed | 15/01/2018 |
| Approved | 15/01/2018 | Project No. | 21 |

112



Views into the site (north) and existing access



113



South elevation of garage



114



115



116



117



Rear elevation in relation to neighbouring property to the east



118



Existing boundary fence



119



Rear elevation of host property



120



West elevation of garage



121



Looking east



122



Existing access and driveway



123

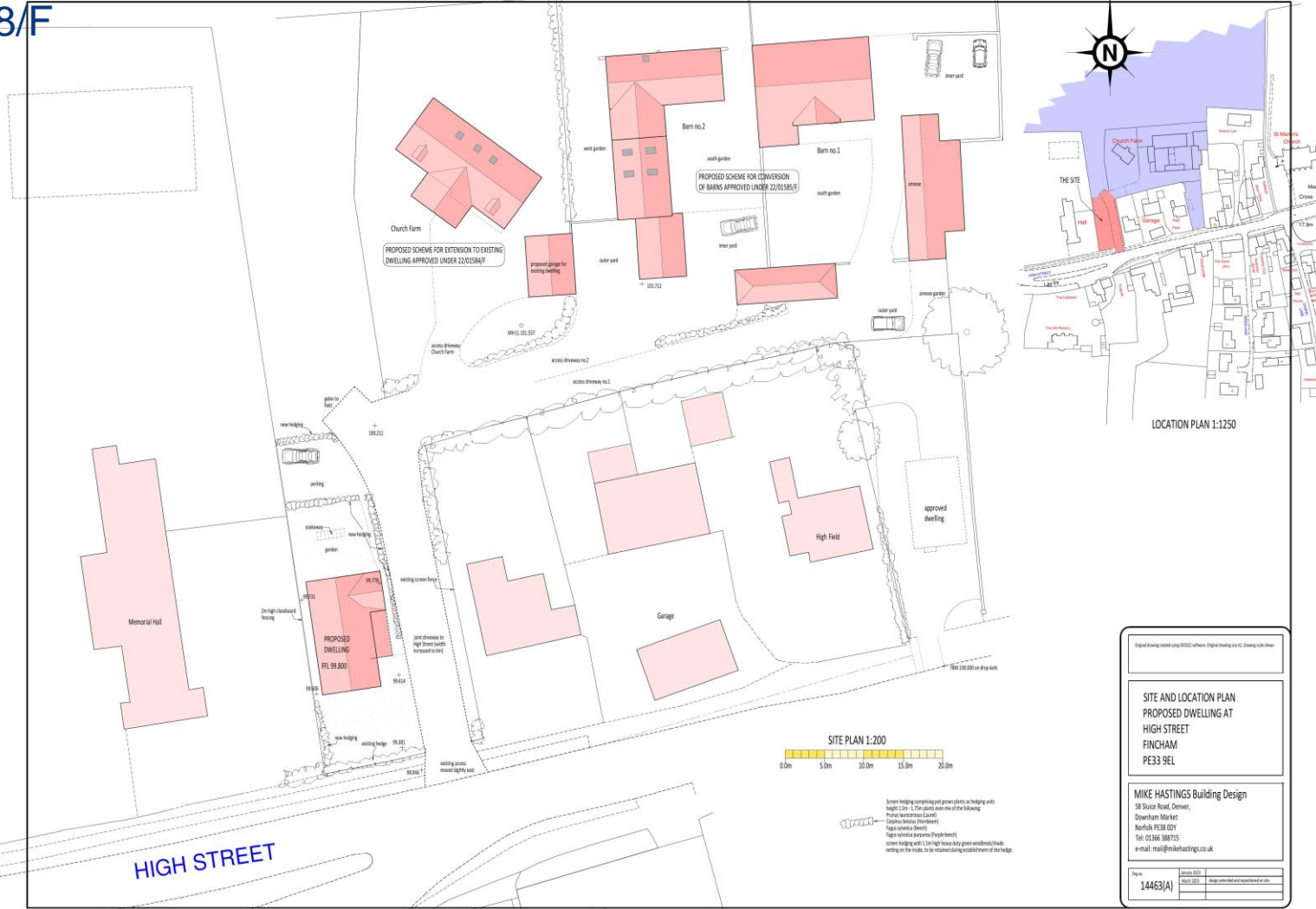


124



23/00078/F





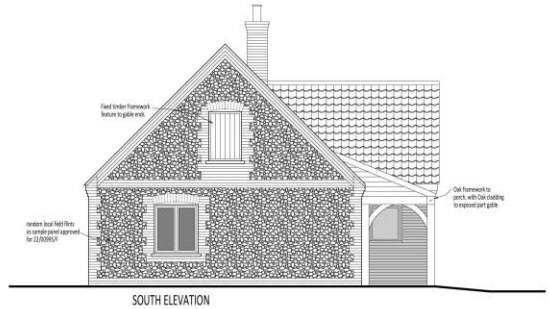
Original drawing created using TRUSSARDI software. Digital drawing size A1. Drawing scale 1:200.

**SITE AND LOCATION PLAN
PROPOSED DWELLING AT
HIGH STREET
FINCHAM
PE33 9EL**

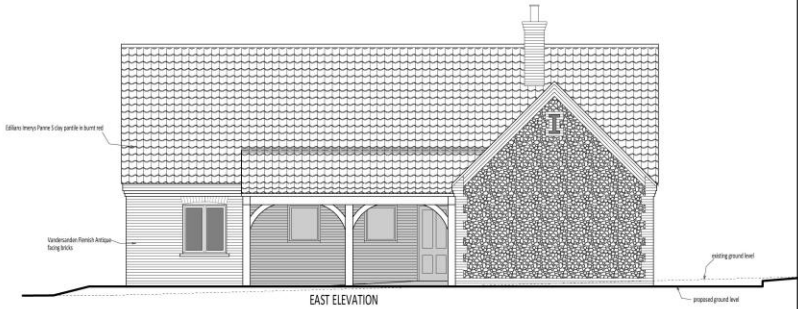
MIKE HASTINGS Building Design
58 Sluice Road, Denver,
Downham Market
Norfolk PE33 0DT
Tel: 01366 388715
e-mail: mail@mikehastings.co.uk

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| Drawn: | 14463(A) | Issue: | 2023 |
| Checked: | | Issue: | 2023 |

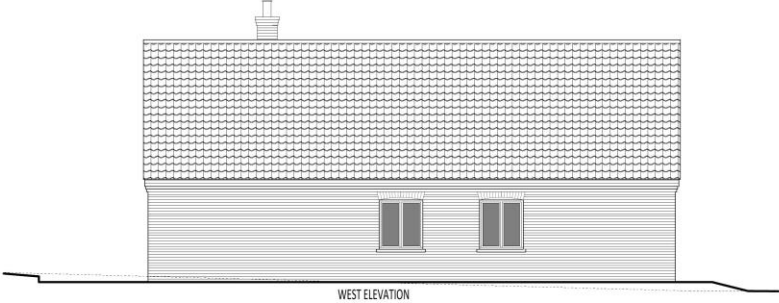
Design created and approved on this date.



SOUTH ELEVATION



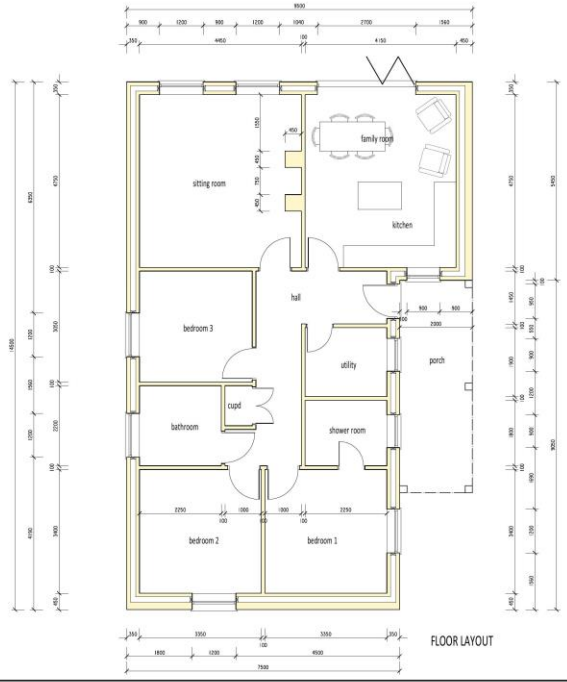
EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION



FLOOR LAYOUT

127

Original drawing created using AutoCAD software. Digital drawing size: A1, Drawing scale: 1:50

0 0.5 1 1.5 2 2.5 3 3.5 4 4.5 5

**PROPOSED DWELLING AT
HIGH STREET
FINCHAM
PE33 9EL**

MIKE HASTINGS Building Design
58 Sluice Road, Denver,
Downham Market
Norfolk PE33 0DT
Tel: 01366 388715
e-mail: mail@mikehastings.co.uk

| | | | |
|----------|----------|--------|-------|
| Drawn: | Checked: | Scale: | Date: |
| 14464(A) | | | |

128



Application site, stood on High Street looking north



129



View from High Street looking northeast towards site



130



Application site, stood on car park looking south east



131



132



Application site, stood on car park looking north east

133



134



135



View east along High Street



23/00273/F





Location Plan
Scale 1:1250
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OS 100047474



Existing Block Plan
Scale 1:500
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Proposed Block Plan
Scale 1:500
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| | | | |
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| | | 74 Cardiff Road, CF15 7QE • Enquiries@ArkiPlan.co.uk | |
| | | Date | 08.02.2023 |
| Site | 44 South Moor Drive, Heacham PE31 7BW | Sheet | 23-0139_D01_REV 02 |
| | | Job | New Extension & Garage Conversion |
| | | Scale | As Shown@A1 |
| Title Number | - | Title | As Shown |

EXISTING



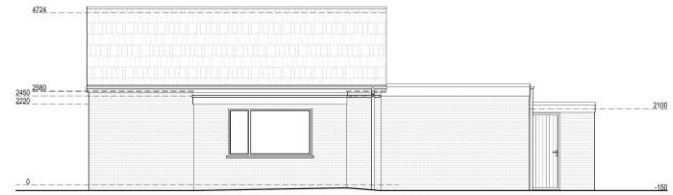
Existing Southwest Elevation
Scale 1:50



Existing Northwest Elevation
Scale 1:50



Existing Northeast Elevation
Scale 1:50



Existing Southeast Elevation
Scale 1:50

138

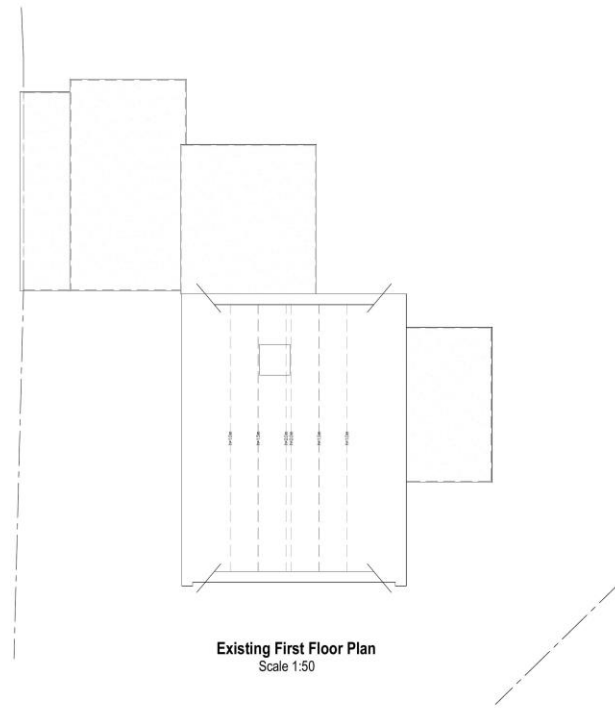
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| Site | 44 South Moor Drive, Heacham PE31 7BW | Date | 08.02.2023 |
| | | Sheet | 23-0139 - D08 - REV 02 |
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EXISTING

139



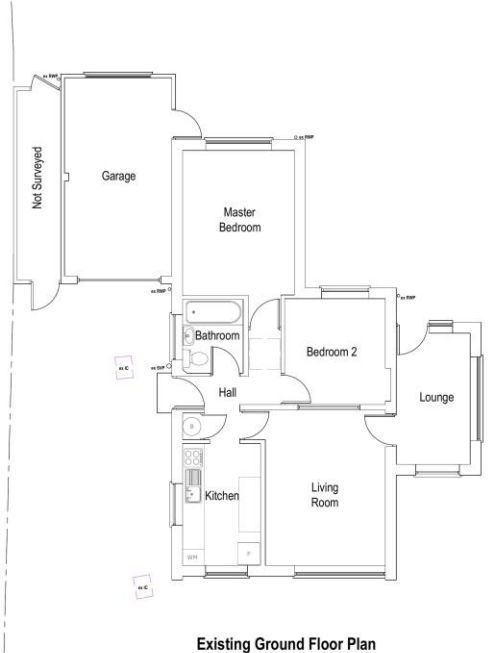
Existing First Floor Plan
Scale 1:50

| | | | |
|---|--|--|--------------------------------------|
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| | | Date | 08.02.2023 |
| Site | 44 South Moor Drive, Heacham PE31 7BW | Sheet | 23-0139_D04_REV 02 |
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| Title Number | - | Title | As Shown |




EXISTING

140



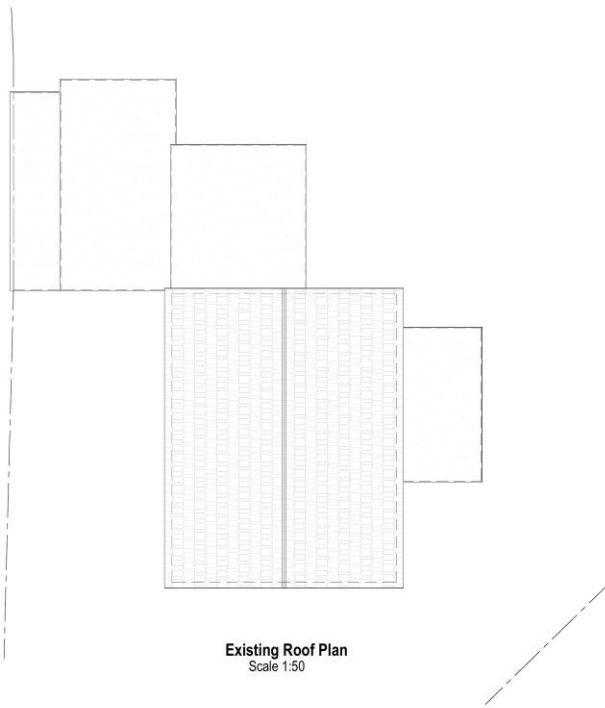
Existing Ground Floor Plan
 Scale 1:50
 Area ca. 85.59 m²

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|---|---------------------------------------|-------|-----------------------------------|
|  74 Cardiff Road, CF15 7QE • Enquiries@ArkiPlan.co.uk | | Date | 08.02.2023 |
| | | Sheet | 23-0139_D02_REV 02 |
| Site | 44 South Moor Drive, Heacham PE31 7BW | Job | New Extension & Garage Conversion |
| | | Scale | As Shown@A1 |
| Title Number | - | Title | As Shown |



EXISTING

141



Existing Roof Plan
Scale 1:50

| | | | |
|---|--|--|--------------------------------------|
|  | | 74 Cardiff Road, CF15 7QE • Enquiries@ArkiPlan.co.uk | |
| | | Date | 08.02.2023 |
| Site | 44 South Moor Drive, Heacham PE31 7BW | Sheet | 23-0139_D06_REV 02 |
| | | Job | New Extension & Garage Conversion |
| | | Scale | As Shown@A1 |
| Title Number | - | Title | As Shown |



Applied Materials:
Plastic Render (to match existing)
Flat roof: Ply membrane (to match existing)



Proposed Southwest Elevation



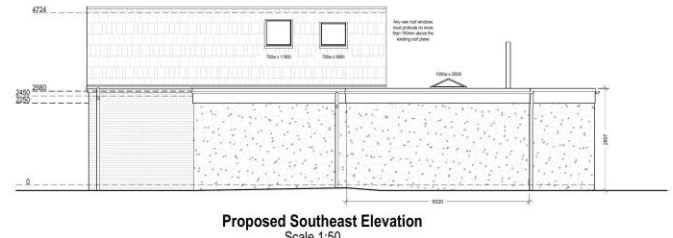
Proposed Northwest Elevation

Scale 1:50



Proposed Northeast Elevation

Scale 1:50



Proposed Southeast Elevation

Scale 1:50

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| Job | New Extension & Garage Conversion |
| Scale | As Shown@A1 |
| Title Number | - |
| Title | As Shown |



- Boundary line
- Details above
- Proposed foundation
- Waste drainage layout
- Rainwater drainage layout
- timber/steel beam above sized and specified by Structural Engineer - fire proofed as per spec. and detail drawing

- Mechanically ventilated
- Mains operated interlinked heat detector
- Escape door / window
- Carbon Monoxide alarm

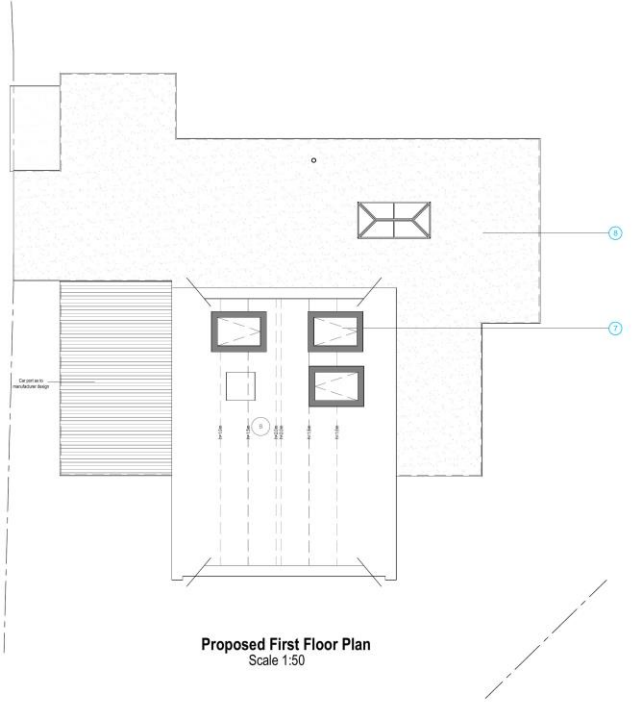
Proposed drainage layout is indicative only and has not been surveyed. Existing foul drainage layout to be surveyed by Contractor on site and exact layout and connections are to be agreed on site with BCO before any works commence. All pipes sizes and falls as per spec. and detail drawings.

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143



Proposed First Floor Plan
 Scale 1:50

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| Title Number | - | Job | New Extension & Garage Conversion |
| | | Scale | As Shown@A1 |
| | | Title | As Shown |



- Boundary line
- Details above
- Proposed foundation
- Waste drainage layout
- Rainwater drainage layout
- timbersteel beam above sized and specified by Structural Engineer - fire proofed as per spec. and detail drawing

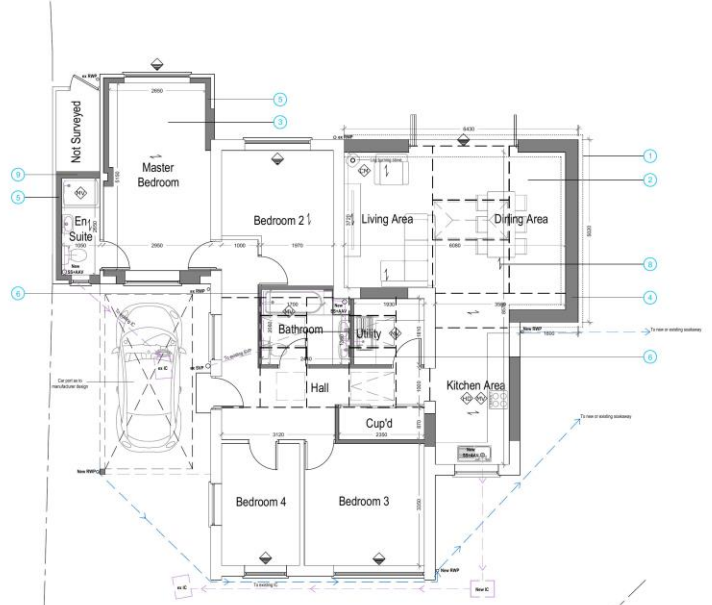
- Mechanically ventilated
- Mains operated interlinked heat detector
- Escape door / window
- Carbon Monoxide alarm

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Proposed Ground Floor Plan
 Scale 1:50
 Area ca. 112.67 m²
 Additional area ca. 24.49 m²

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|--------------|---------------------------------------|-------|-----------------------------------|
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| | | Sheet | 23-0139_D03_REV 02 |
| Title Number | - | Job | New Extension & Garage Conversion |
| | | Scale | As Shown@A1 |
| | | Title | As Shown |



144

- Boundary line
- Details above
- Proposed foundation
- Waste drainage layout
- Rainwater drainage layout
- timber/steel beam above sized and specified by Structural Engineer - fire proofed as per spec. and detail drawing

-  Mechanically ventilated
-  Mains operated interlinked heat detector
-  Escape door / window
-  Carbon Monoxide alarm

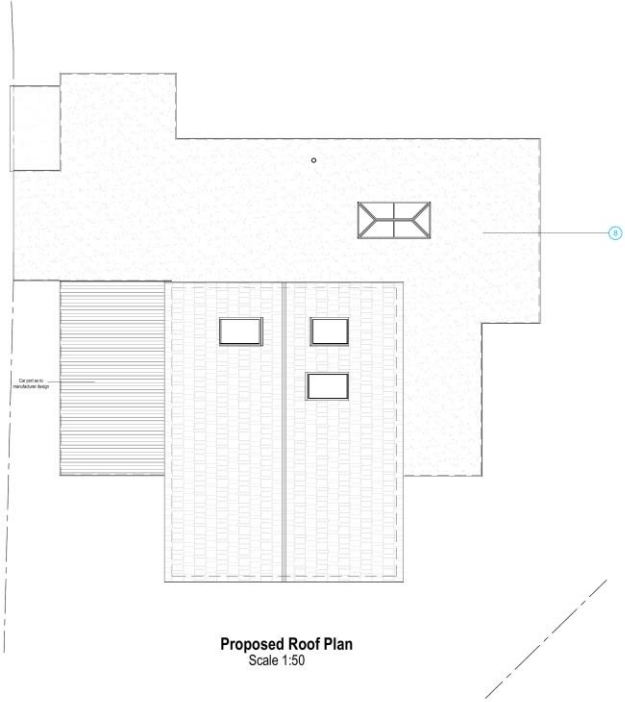
Proposed drainage layout is indicative only and has not been surveyed. Existing foul drainage layout to be surveyed by Contractor on site and exact layout and connections are to be agreed on site with BCO before any works commence. All pipes sizes and falls as per spec. and detail drawings.

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145



Proposed Roof Plan
Scale 1:50

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| | | | |
|--------------|---------------------------------------|-------|-----------------------------------|
| Site | 44 South Moor Drive, Heacham PE31 7BW | Date | 08.02.2023 |
| | | Sheet | 23-0139 D07 REV 02 |
| Title Number | - | Job | New Extension & Garage Conversion |
| | | Scale | As Shown@A1 |
| | | Title | As Shown |



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| Date | Revision | Issue |
|------|----------|-------|
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146



Existing dropped kerb

Parking plan 1:100

Parking Arrangements

Borough Council of King's Lynn & West Norfolk



Summit Architectural Ltd
 Holm Oak House, 2a Lynn Road, Heacham, Norfolk, PE31 7HY
 01485 570472 07787 968908
 hoad@summitarchitectural.co.uk



148



Front of Dwelling and Driveway



149



150



Front driveway and garage



151



Existing Rear Elevation

152



View from rear garden to No. 44

153



View of No 46 Rear Garden

154



Boundary Between No 44 and No 46



155



View from No 46 Garden to No 44



156



View of Rear Garden



157



Boundary Between No 44 and No 42



158



Rear Boundary





View from Rear Garden

22/00282/F

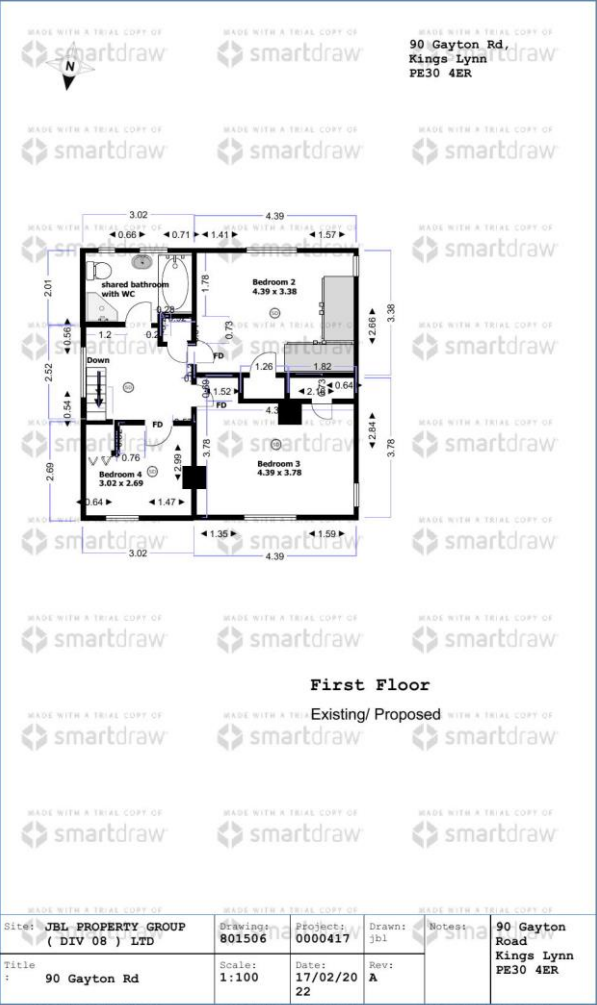


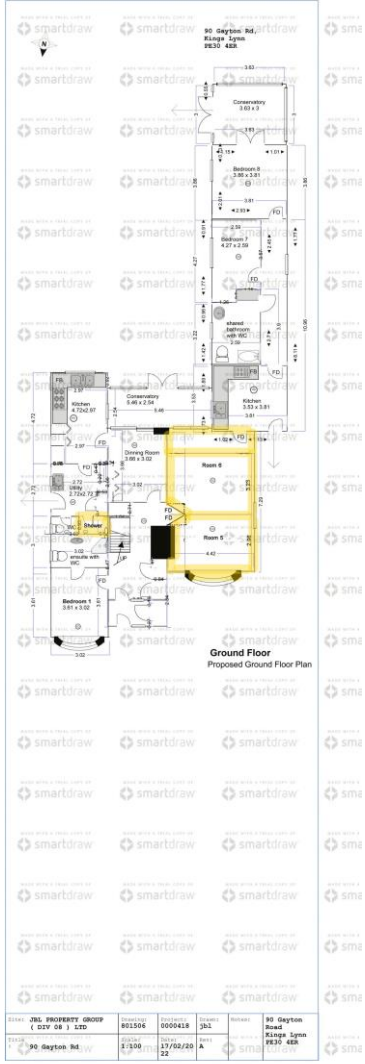
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| ORDNANCE SURVEY PLAN REFERENCE | TF 6420 | SECTION C 0 | Scale 1/1250 |
| COUNTY NORFOLK | DISTRICT KINGS LYNN AND WEST NORFOLK | | © Crown copyright 1979 |



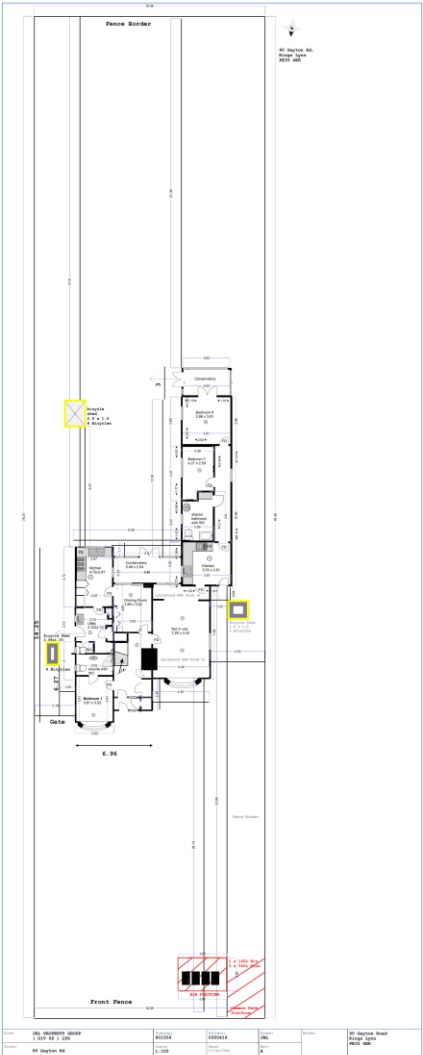
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164



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|--|

165



166



View looking south/east showing parking area.

167



View looking north showing access, parking area and proposed bin storage location.



168



View looking south, showing shed and western boundary.



169



View looking north, showing shed and eastern boundary.



170



View looking north from the rear garden area.



171



View looking south showing rear garden area and shed.

172



View looking west from garden.



23/00470/CU





20 Woodside, King'S Lynn, PE30 4SD



174

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175



176



No.20 Woodside and adjoining terraces



177



Wider view of the application site

178



Wider view of the application site and context

179



Rear of the site facing north-west



180



23/00361/F



EXISTING

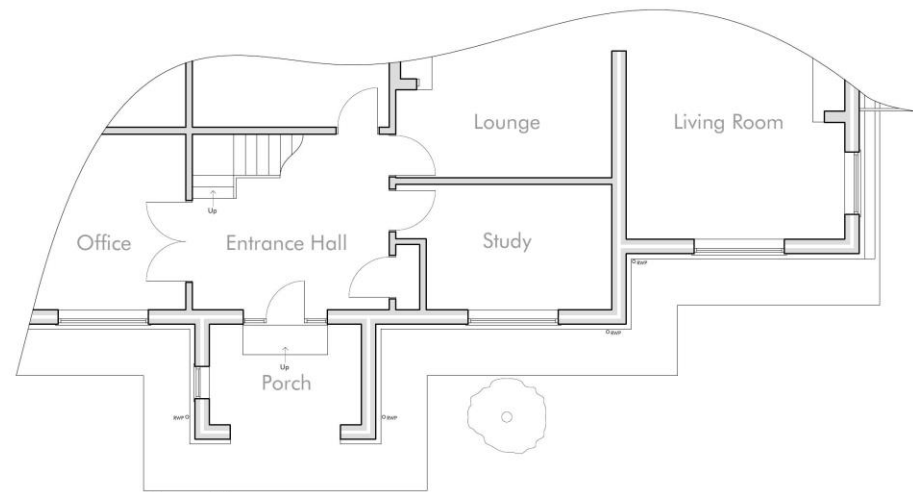


North Elevation (1:100)

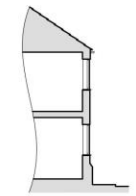


East Elevation (1:100)

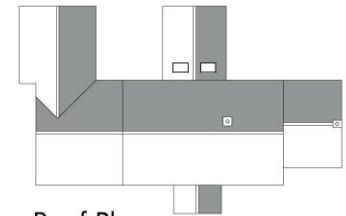
182



Floor Plan (1:50)



Section (1:100)



Roof Plan (1:200)

WAITE & Wallage
ARCHITECTS LTD.
incorporating RICHARD C F WAITE ARCHITECTS

This drawing is subject to confirmation from further construction information. Any discrepancy found on drawing is to be notified to architect immediately. All foundations to be verified in soil ground conditions & structural requirements after site investigation by others. No dimensions are to be relied upon for this drawing. All sizes in dimensions to be checked before construction. This drawing is copyright & may not be copied without consent.

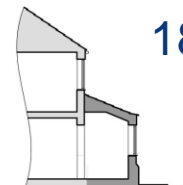
| | | |
|---|----------------|------------------|
| Proposed extension at 2, Two Acres, Middleton, King's Lynn. | Paper Size: A2 | PLANNING |
| Existing Plans | Drawn: DJPW | 3/440/1 |
| | Date: Feb. '23 | |
| info@wwaltd.co.uk | (01553) 772656 | www.wwaltd.co.uk |



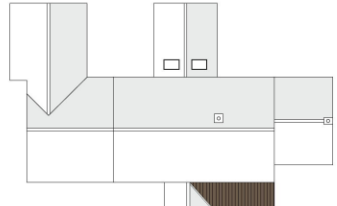
North Elevation (1:100)



East Elevation (1:100)



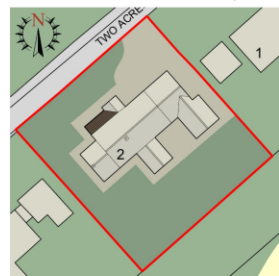
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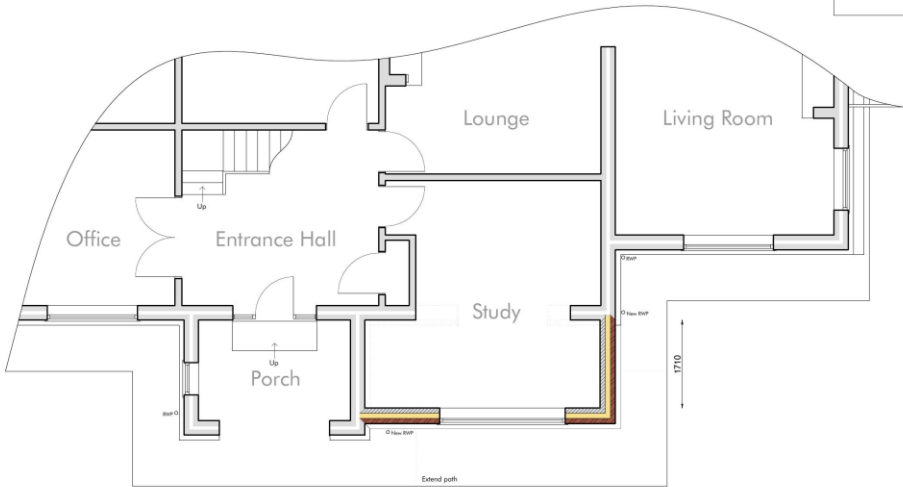
Roof Plan (1:200)



Location Plan (1:1250)



Site Plan (1:500)



Floor Plan (1:50)

183

PRELIMINARY DRAWING Subject to Planning & Building Control Approval

NB: Ground Levels to remain unaltered and as existing

WAITE & Wallage
 ARCHITECTS LTD.
 incorporating RICHARD C F WAITE ARCHITECTS

This drawing is subject to confirmation from further construction information. Any discrepancy based on drawings to be notified to architect immediately. All foundations to be notified to and ground conditions & structural requirements after site investigation by others. All dimensions to be checked before construction. This drawing is copyright & may not be copied without consent.

| | | |
|---|----------------|----------|
| Proposed extension at 2, Two Acres, Middleton, King's Lynn. | Paper Size: A2 | PLANNING |
| Proposed Plans | Drawn: DJPW | 3/440/2A |
| | Date: Feb '23 | |

info@vwwaltd.co.uk (01553) 772656 www.vwwaltd.co.uk

184



View looking south west at front elevation and access to site



185



186



View looking south east at front elevation

187



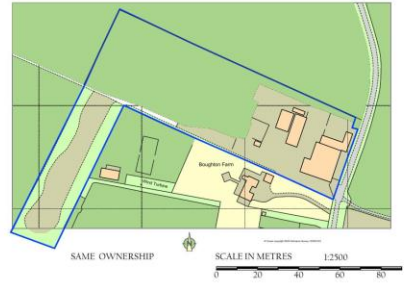
188



23/00092/F



190



Proposed
Park area for containers

Area A

— SAME OWNERSHIP
— SITE BOUNDARY

These Are Not Construction Drawings

This drawing should not be used, if the contractor and the sub-contractor are responsible to check all dimensions and information on site before starting work.

All work to be carried out in accordance with current building regulations. This drawing is to be used in conjunction with structural engineers drawings. This drawing is copyright and must not be copied without consent.

Information on drawings other than planning drawings, construction method or site-visit. Construction as indicated Building regulations as indicated. Drawn from site visit 19/11/20.

Planning drawings rely on information from third parties, information may not be up-to-date. For existing other building representations in situ. It is a client's responsibility to ensure the drawings.

For construction, Structural Engineer's Drawings will take precedence unless other changes are made and signed changes for existing construction.

For all work to existing structures take measurements on site.

IF IN DOUBT PLEASE ASK

Peter Gidney

West Hall Cottage-Gayton-Kings Lynn-PE32 1PD
Telephone 01553 636994

Container Storage Area
Stoke Ferry Timber Ltd
Boughton Road
Stoke Ferry
Kings Lynn
Norfolk
PE33 6ST

Applicant
Cullin Bond
Stoke Ferry Timber Ltd
Boughton Road
Stoke Ferry
Kings Lynn
Norfolk
PE33 6ST

Application for a Storage Area A
30 Container Storage Area
LOCATION PLAN

Scales: 1:1250 Drawn By: PG
1:2500 Calc

Date: 16/01/2023 Issued For: Planning

Dwg No. 01/ACB/02/2023 A1

One



Additional Revision

- Estimation of Access/Fencing
- Eastern Boundary
- Fencing Details
- Block of unbraced external South-slopes
- Perimeter wall
- Normal landscaping over chalk sub-strata
- Shaped 1:40 towards boundary area

— Site Ownership
— Application Boundary

These Are Not Construction Drawings

Information on this plan is for guidance only. It is not intended to be used as a legal document. It is the responsibility of the applicant to ensure that all necessary permissions and consents are obtained from the relevant authorities. The information on this plan is for guidance only. It is not intended to be used as a legal document. It is the responsibility of the applicant to ensure that all necessary permissions and consents are obtained from the relevant authorities.

Peter Gidney

West Hill College Design Kings Lynn PE33 1PD
Telephone: 01336 430094

Container Storage Area
 Sinks For: Timber
 Sinks For: Road
 Sinks For: Grass
 Sinks For: PE33 1PD

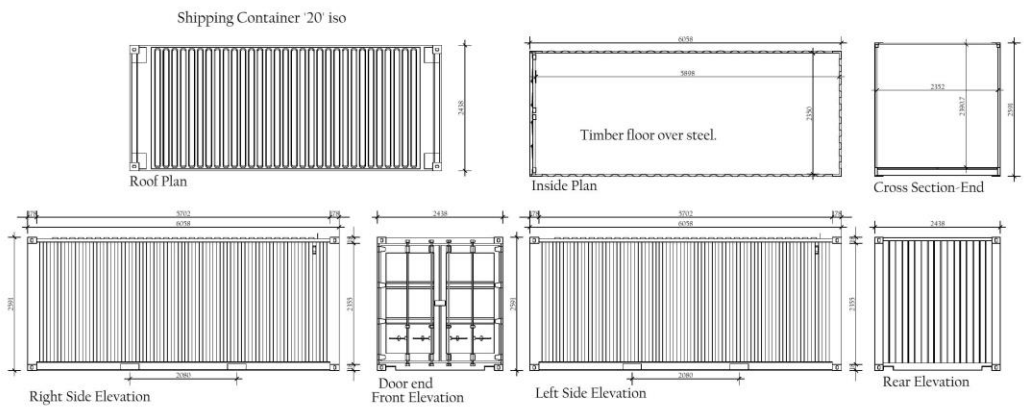
Applicant
 Colin Road
 Sinks For: Timber
 Sinks For: Road
 Sinks For: Grass
 Sinks For: PE33 1PD

Application for a Storage Area A
 of Container Storage Area
 (Details of Soak-away areas)

Scale: 1:200 Drawn By: PG
 Date: 28-06-2023 Issued For: Planning

Dwg No: 054CB172023 A1

Page 4 of 4



Container.

Proposed

Area A on Plan

Use, Change of use to Commercial Storage and Use Category

CLASSE

These Are Not Construction Drawings

The drawing should not be sealed. It is the contractor and the sub-contractors responsibility to check all dimensions and information on the before starting work.
All work to be carried out in accordance with current building regulations. This drawing is for use in conjunction with structural engineers drawings. This drawing is copyright and must not be copied without consent.
Tolerances for drawings other than planning drawings, construction method or material. Construction as indicated. Building regulation as indicated. Drawn lines unless otherwise stated.
Planning drawings are not a substitute for field parties, businesses vary but are usually within 7%. For existing other buildings representation is made in a manner which does not distort the comparison.
For construction, the contractor is advised to check the site, measure and make notes. Changes are made and agreed changes for enabling construction.
For all work to existing structures take measurements on site.
© Peter Gidney PL0456 4026.

Peter Gidney

West Hill Cottage Gayton-Kings Lynn-PE33 1PD
Telephone: 01553 659994

Container Storage Area
Stoke Ferry Timber
Boughton Road
Stoke Ferry
Kings Lynn
Norfolk
PE33 9BF

Applicant
Colin Bond
Stoke Ferry Timber
Boughton Road
Stoke Ferry
Kings Lynn
Norfolk
PE33 9BF

Elevations of 20 foot Shipping Container(s) on site
..

Scales: 1:50 Drawn By: PG
Calc: ..

Date: 18/01/2023 Issued For: Planning

Dwg No. 03-CB-03-2023 A2

Three

194



View looking to the north west at access to Boughton Farm and Stoke Ferry Timber.



195



View looking west to access on to Stoke Ferry Timber.





View looking north west to Stoke Ferry Timber yard.





View looking northwest to existing containers and track.



198



View looking north west to existing storage containers, track, and shared boundary.

199



View looking south east to existing storage containers, track, and shared boundary.



200



View looking north west to siting of proposed storage containers.

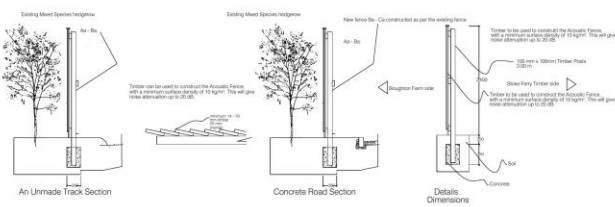
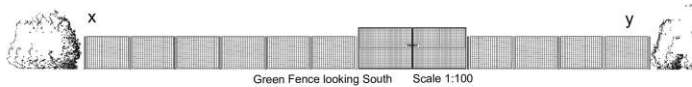


201

23/00125/CU



203



Extended Acoustic Fence as A - B extended B - C

Same Detail 1:40

Application:
Change of Use Application
Area D on Plan
Existing Storage and Parking for Agricultural Use
Use: Change of use to Commercial Storage
Use Category: CLASS E

NAME (OWNERSHIP)
SITE BOUNDARY

These Are Not Construction Drawings

The information contained in this drawing is for the use of the client only. It is not to be used for any other purpose without the written consent of Peter Gidney. The information is provided on the basis that the client has provided all necessary information and that the information is correct and complete. Peter Gidney does not accept any liability for any loss or damage, whether direct or indirect, arising from the use of this drawing. This drawing is the property of Peter Gidney and is not to be copied, reproduced, or distributed without the written consent of Peter Gidney. The information is provided on the basis that the client has provided all necessary information and that the information is correct and complete. Peter Gidney does not accept any liability for any loss or damage, whether direct or indirect, arising from the use of this drawing.



Wood Hall Cottage Capton Kings Lynn PE32 0PD
Telephone 01323 430604

Solo Fery Timber Ltd
Boughton Road
King's Lynn
Norfolk
PE33 9HF

Application:
Cullis Bead
Solo Fery Timber Ltd
Boughton Road
King's Lynn
Norfolk
PE33 9HF

Use: Change of use to Commercial Storage
Area D on Plan. Showing Access Fence
Showing Extended Acoustic Fence Details
Along Access

1:1000
Scale: 1:500
Drawn By: PG
Calc:

Date: 06/05/2023 Issued For: Planning

Proj No: 06a/CR/20/2023 A1

204



View looking west to access on to Stoke Ferry Timber.

23/00125/CU

Slide
No.
204

205



206



View looking south down existing track to the yard.



View looking south west to storage area, and erected fence and gate.







23/00265/CU



ACCESS GATES TO NOT EXCEED 1.0M HEIGHT
 PROPOSED NEW FENCING TO BE - MAX. 1.0M HIGH THROUGH HOUST;
 FENCE TO BE LOCATED MIN. 2.0M FROM HIGHWAY EDGE; GATES TO OPEN
 INTO THE APPLICATION SITE, LOCATED MIN. 5.0M FROM HIGHWAY EDGE
 PROVIDE 45° VISIBILITY SPLAYS AS SHOWN; ACCESS DRIVES TO BE
 HARD SURFACED - E.G. CONC. OR TARMAC FOR THE FIRST 5.0M FROM THE
 HIGHWAY EDGE, TO SLOPE INTO THE APPLICATION SITE TO ENSURE
 THAT SURFACE WATER DOES NOT DRAIN ONTO THE HIGHWAY



Produced 07 Feb 2023 to the Ordnance Survey MasterMap
 Topography. This view and accompanying background
 is visible at this scale.
 Drawing not for construction. This is a plan view only and does not
 show any vertical dimensions. The horizontal dimensions are to be
 taken as shown unless otherwise stated.



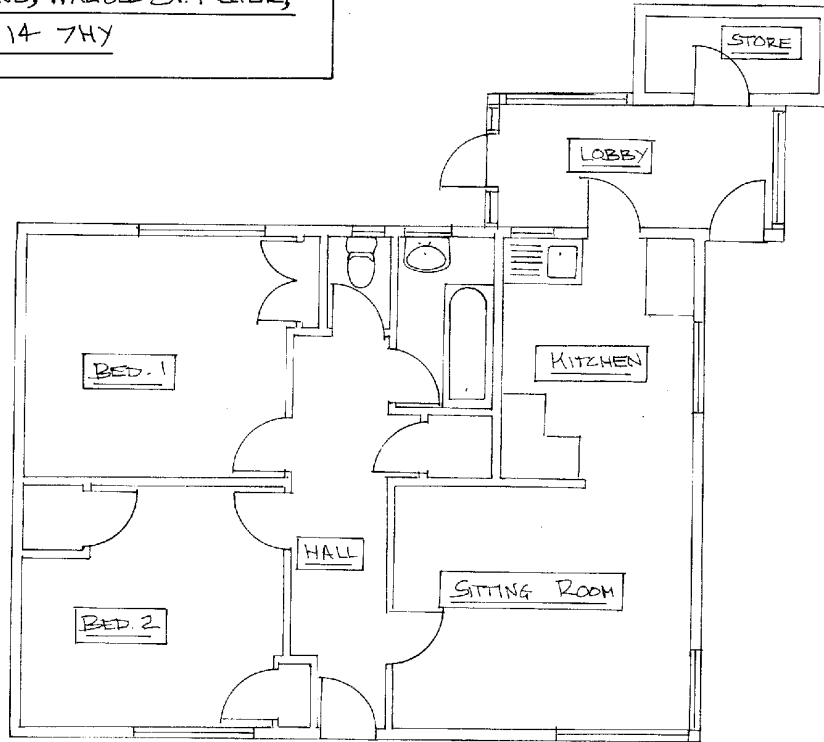
10, Felgate Ln, Watlington St Peter
 PE14 7HF

Designed by **Stamford** 01 Feb 2023
 Layout by **Stamford** 01 Feb 2023
 J:\Projects\2323\05103015\CIP
 PE14 7HF - 10, Felgate Ln, Watlington St Peter
 23/00265/CU

211



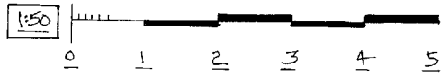
10, FOLGATE LANE, WALPOLE ST. PETER,
NORFOLK, PE 14 7HY



DEVELOPMENT SERVICE
RECEIVED
21 FEB 2023

RECEIVED
21 FEB 2023
A. ENGLISH
PLANNING ADMIN.

FLOOR PLAN 1:50



212

213



Application site – prefabricated dwelling



214



Fencing and gates to be removed

215



Access gates to be removed /relocated and lowered.

216



Prefabricated 2x bedroom dwelling

217



Rear garden



218



Rear elevation and neighbour to east beyond fence



2/TPO/00647



220



221





Speakers Slide Frank Hultschig



Objection to TPO/00647

Frank AF Hultschig

1 June 2023





1. The two trees are not native species and displace native wildlife.
2. The two trees are not valuable specimens in their own right.
3. The trees do not add amenity value for the immediate surrounding area and do not contribute to the wider Landscape of the locale. If anything, the opposite is true. These trees are highly unsightly and unattractive. Their appearance deteriorated further when their owner had a tree surgeon create a gap between them; this resulted in the disfiguration of their natural form.
4. Pigeons nest in the trees.
5. The roots of the two trees are likely to interfere with nearby sewage drains.
6. The trees are growing even further and are creating a light and wave barrier:
 - a. Our conservatory does no longer benefit from the full sun it used to get.
 - b. Our garden has become more shaded since these trees have grown further over the last years. The linen takes longer to dry.
 - c. The television reception has deteriorated.
7. It is not possible to rule out the risk that a severe storm may result in one or both trees falling over or branches being broken off. Should this happen it is likely that our conservatory and / or house will get damaged.



1. Why was a further TPO issued, when previously a decision was made that these trees are not worthy of a TPO?
2. Why is the Council spending tax payer's money on issuing a third TPO for trees which were previously described by a Council official "as no longer worthy of a TPO"?
3. Why is the Council's administration including the correspondence riddled with administrative errors?
The response to a Freedom of Information Request regarding Site visit on the 7 December 2022 states:
"The site notes and details of the agreement reached with Mr Richard Fisher, Arboricultural officer. - Mr Fisher left the organisation in November 2022, therefore I am unable to provide this data". This statement undermines any remaining confidence in the Council's Environment and Planning department further."
4. Why did my neighbour, Richard Payne, not receive a letter alerting him of the pending Planning Committee Meeting on the 5 June 2023?
5. Why does the Council not follow its own complaints procedure?

227



| Reference of Tree Preservation Order | Tree Species | Reason | Objection Deadline | Update Received | Update - Content |
|--|------------------------------|--|--------------------|---|---|
| 2/TPO/00603 – 22 Sept 2020 On cover letter: 2/TPO/00603 – 18 Sept 2020 | Macrocarpa | The mature tree species provides high amenity . . . | 16 October 2020 | 27 May 2021 | Order not confirmed. However, cover letter confusing and contradictory |
| 2/TPO/00606 – 5 May 2021 | Macrocarpa | The mature tree species provides high amenity . . . | 4 June 2021 | 22 June 2021 | e-mail response from Richard Fisher: “this TPO is null and void”. |
| TPO at Greevegate referencing Sept TPO | Not stated | “trees are on balance no longer worthy of a TPO” | n/a | 21 May 2021 e-mail to Richard Payne from Stuart Ashworth | Stuart Ashworth: “after further discussions and following a further detailed inspection of the trees on site, he (Council’s Arboricultural officer) is now of the opinion that the trees are on balance no longer worthy of a TPO. |
| 2/TPO/00647 - 14 December 2022 | Cupressus x leylandii | Visual amenity value impaired by ‘excessive pruning’ | 11 January 2023 | 29 October 2021 Letter stamp date: 25 May 2023 | Planning Committee meeting on 5 June 2023 |
| 2/TPO/00647 - Complaint | n/a | n/a | n/a | 3 Feb. 2023 email from Lesley Raby, Technical Support Officer | Your Complaint has been lodged and passed to the Assistant Director for Environment and Planning, who will endeavour to respond within 15 working days, in accordance with our Corporate Complaints Policy |
| 2/TPO/00647 - Complaint | n/a | n/a | n/a | 24 April 2023 email to borough.planning@west-norfolk.gov.uk | Reminder sent: No response to objections; no response to complaint. |



END OF PRESENTATION

